

U N I V E R S I T Y O F  
SOUTH CAROLINA

# USC SOM BUILDING 28 BATHROOM RENOVATIONS COLUMBIA, SC

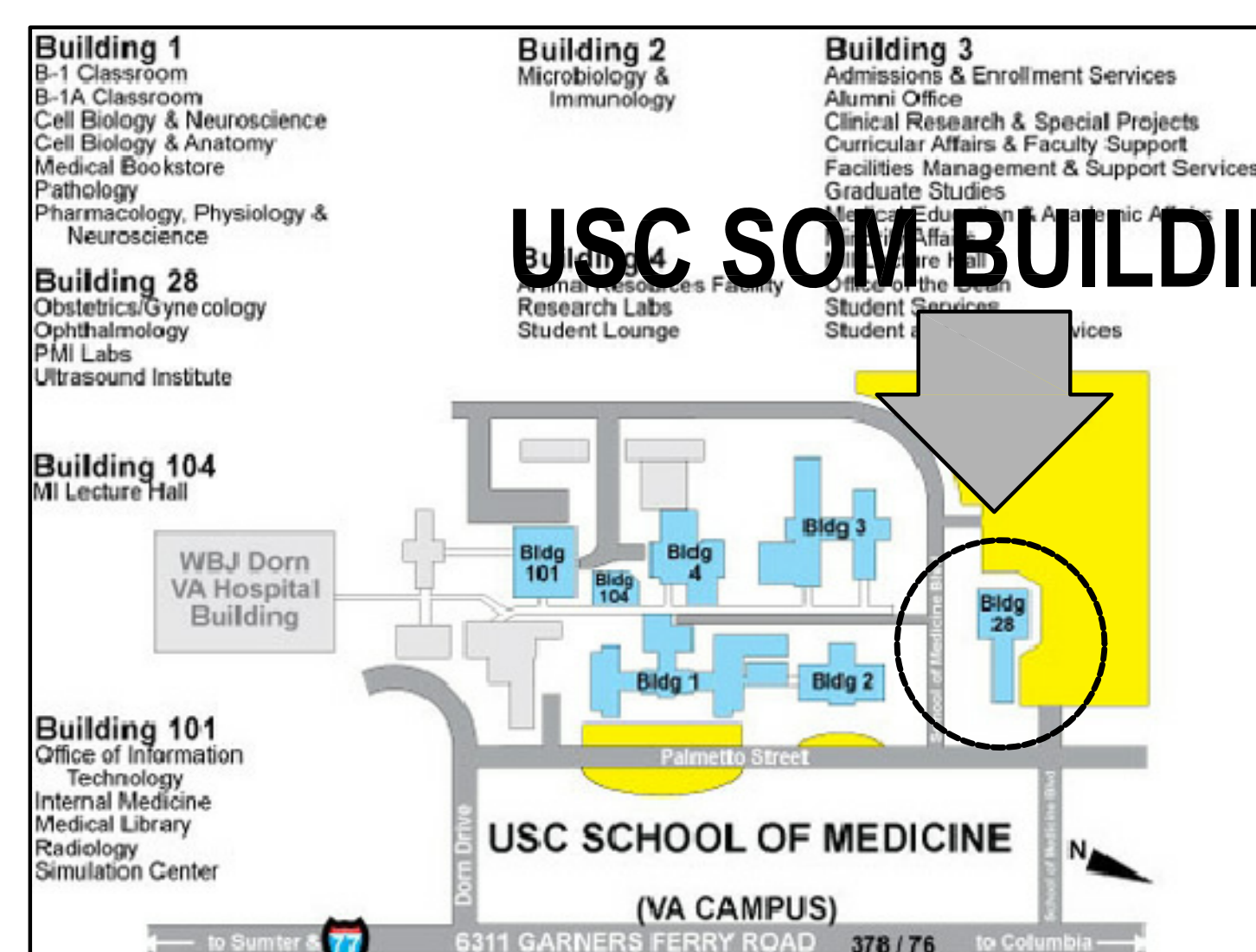
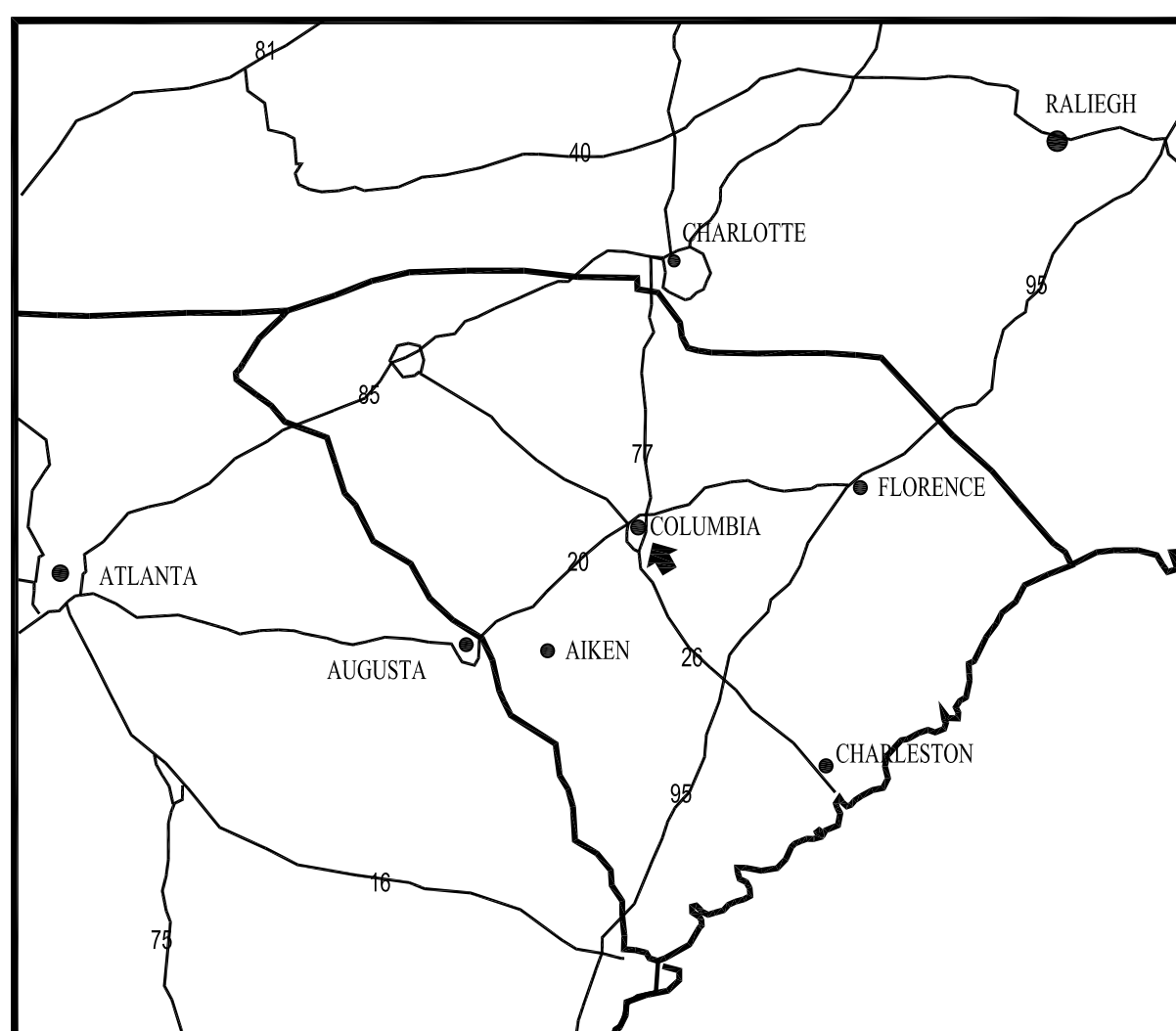
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SET NO. \_\_\_\_\_

*drawn by* JKS  
*checked by* TMW



GENERAL DEMOLITION NOTES

1. NOTIFY THE ARCHITECT IF DISCREPANCIES ARE DISCOVERED IN THE FIELD BETWEEN WHAT IS EXISTING AND WHAT IS SHOWN ON THE DRAWINGS. DO NOT PROCEED WITH DEMOLITION UNTIL THE DISCREPANCY IS RESOLVED BY THE ARCHITECT.
2. WHERE A WALL IS INDICATED TO BE REMOVED, REMOVE ALL FINISHES FURRING AND TRIM UNLESS NOTED OTHERWISE.
3. CONTRACTOR SHALL CLOSELY COORDINATE DEMOLITION WITH NEW CONSTRUCTION PLANS.
4. NOT ALL DEMOLITION REQUIRED BY THE INSTALLATION OF NEW MECHANICAL AND ELECTRICAL SYSTEMS IS NECESSARILY INDICATED ON THE ARCHITECTURAL PLANS. COORDINATE ADDITIONAL DEMOLITION WORK ON ELECTRICAL, PLUMBING AND MECHANICAL SHEETS.
5. WHENEVER DEMOLITION DAMAGES EXISTING CONSTRUCTION TO REMAIN, THE CONTRACTOR SHALL REPAIR THOSE SURFACES TO THE FINISH AND QUALITY OF ADJACENT SURFACES OF THE ORIGINAL CONDITION.
6. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING CONSTRUCTION TO REMAIN. CONSTRUCT DUST PROOF BARRIERS AS REQUIRED TO PREVENT THE PASSAGE OF DUST INTO OCCUPIED AREAS.
7. CONTRACTOR SHALL REMOVE ALL FIRE EXTINGUISHERS AND MOUNTING BRACKETS AND STORE DURING THE RENOVATION. THE CONTRACTOR SHALL REINSTALL THE FIRE EXTINGUISHERS PRIOR TO OCCUPANCY.
8. ASBESTOS CONTAINING MATERIALS (ACM) HAVE BEEN DISCOVERED IN THE BUILDING. SEE THE HAZARDOUS MATERIALS REPORT INCLUDED IN THE PROJECT MANUAL. THE CONTRACTOR SHALL THOROUGHLY REVIEW THE HAZARDOUS MATERIALS REPORT. THE CONTRACTOR WILL COMPLY WITH ALL REGULATIONS SET FORTH BY OSHA AND SCDEC FOR REMOVAL AND DISPOSAL OF THE MATERIALS IDENTIFIED IN HAZARDOUS MATERIALS REPORT. THE CONTRACTOR MUST FOLLOW ALL USC'S INTERNAL POLICES AND PROCEDURES.

DEMOLITION NOTES

1. REMOVE EXISTING PLUMBING FIXTURES COMPLETE.
2. REMOVE EXISTING DOOR, FRAME AND HARDWARE COMPLETE.
3. REMOVE EXISTING TOILET PARTITIONS COMPLETE INCLUDING MOUNTING BRACKETS AND ALL ASSOCIATED HARDWARE. PATCH HOLES LEFT WHERE BRACKETS WERE MOUNTED TO THE FLOOR AND WALL.
4. REMOVE EXISTING CARPET FLOOR COVERING AND ACCESSORIES COMPLETE INCLUDING ADHESIVES AND RUBBER/VINYL BASE. PREPARE SUBSTRATE FOR INSTALLATION OF NEW FLOOR COVERING AS SCHEDULED.
5. REMOVE SUSPENDED EXISTING ACoustICAL CEILING GRID SYSTEM COMPLETE INCLUDING HANGARS, SUPPORTS AND ASSOCIATED HARDWARE.
6. REMOVE EXISTING CERAMIC FLOOR TILE COMPLETE. PATCH FLOOR AS NECESSARY FOR THE INSTALLATION OF NEW FLOOR FINISH.
7. REMOVE EXISTING WALL AS REQUIRED FOR INSTALLATION OF NEW DOOR AND FRAME.
8. REMOVE EXISTING PARTITION COMPLETE.
9. REMOVE EXISTING FIRE HOSE CABINET COMPLETE AND CAP FIRE WATER LINE. REMOVE WALL FRAMING AROUND FIRE CABINET BACK TO CORRIDOR WALL.
10. REMOVE EXISTING COUNTERTOP COMPLETE INCLUDING MOUNTING HARDWARE, BASE CABINETS, ETC.
11. REMOVE CONCRETE FLOOR SLAB AS REQUIRED TO INSTALL PLUMBING LINES. PATCH SLAB AS NECESSARY.
12. REMOVE DRYWALL FROM UNDERSIDE OF SECOND FLOOR WOOD FLOOR FRAMING.

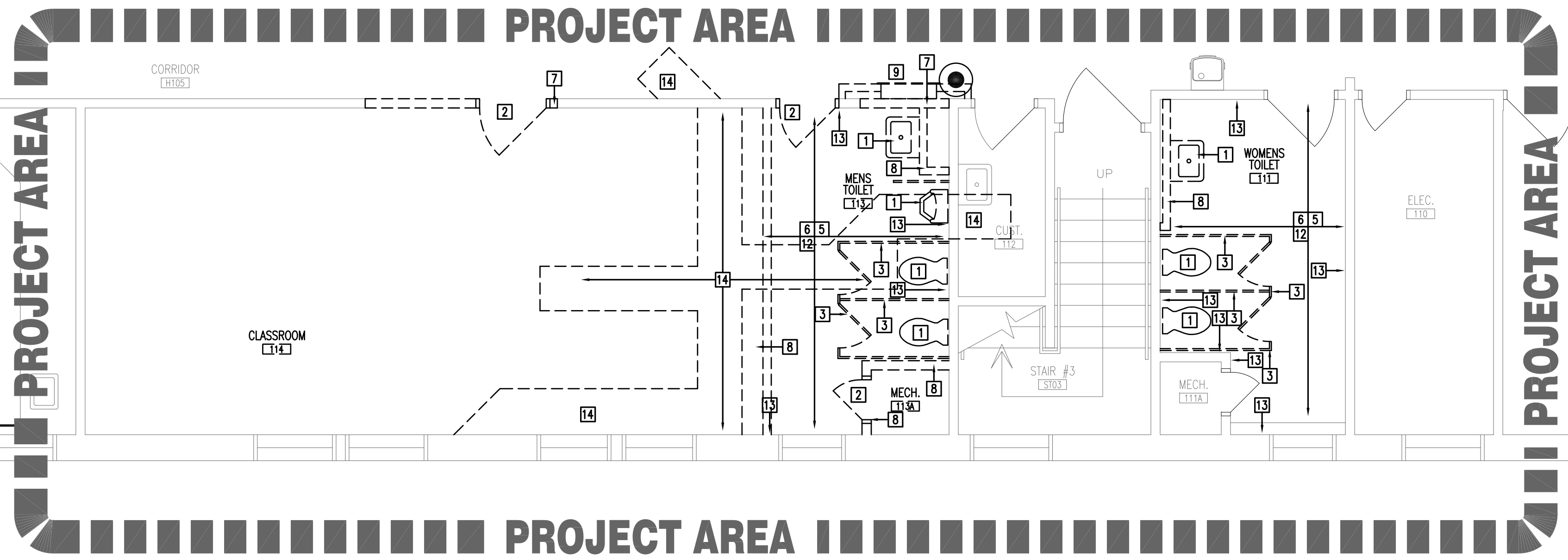
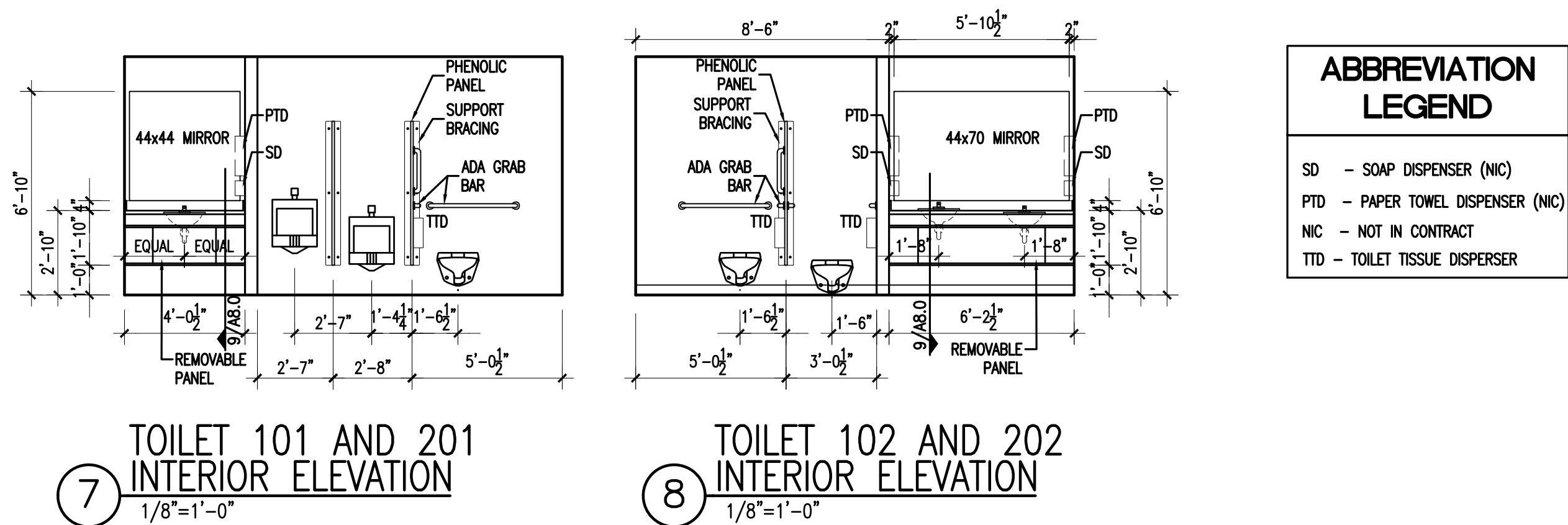
----- DASHED LINES INDICATE ELEMENTS TO BE DEMOLISHED.

GENERAL RENOVATION NOTES

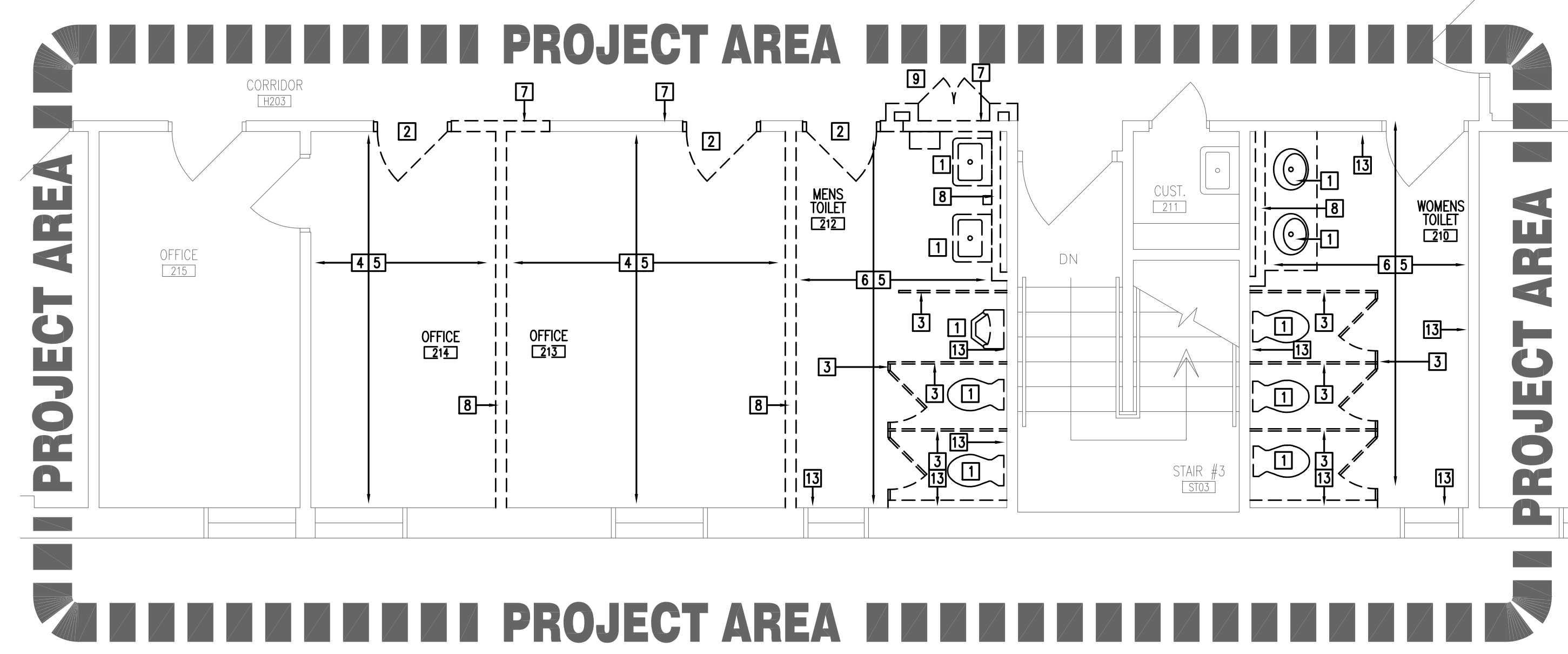
1. "HB" DENOTES HORIZONTAL BLIND. REFER TO SPECIFICATION SECTION 12492 - HORIZONTAL LOUVER BLINDS FOR DETAILS.
2. REFER TO DETAIL 10/A8.0 FOR FIRST FLOOR CONCRETE FLOOR PATCH.
3. REFER TO SHEET A0.0 FOR GENERAL NOTES, SYMBOLS AND LEGENDS.
4. REFER TO 12/A8.0 FOR PARTIAL ROOF PLAN. COORDINATE HOOD LOCATION WITH ROOF FRAMING.

KEYED RENOVATION NOTES

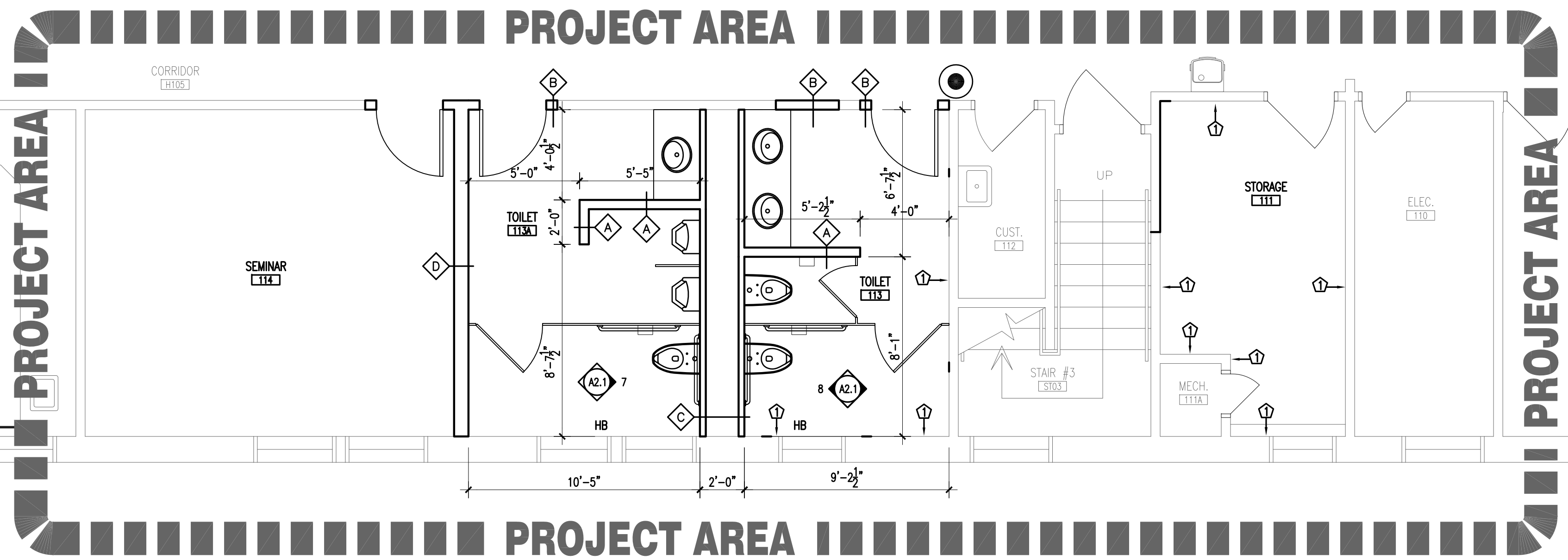
1. INSTALL NEW DRYWALL WEAR TILE AND DRYWALL WERE REMOVED FROM STUD WALL OR WEAR EXISTING WALL WAS DEMOLISHED.



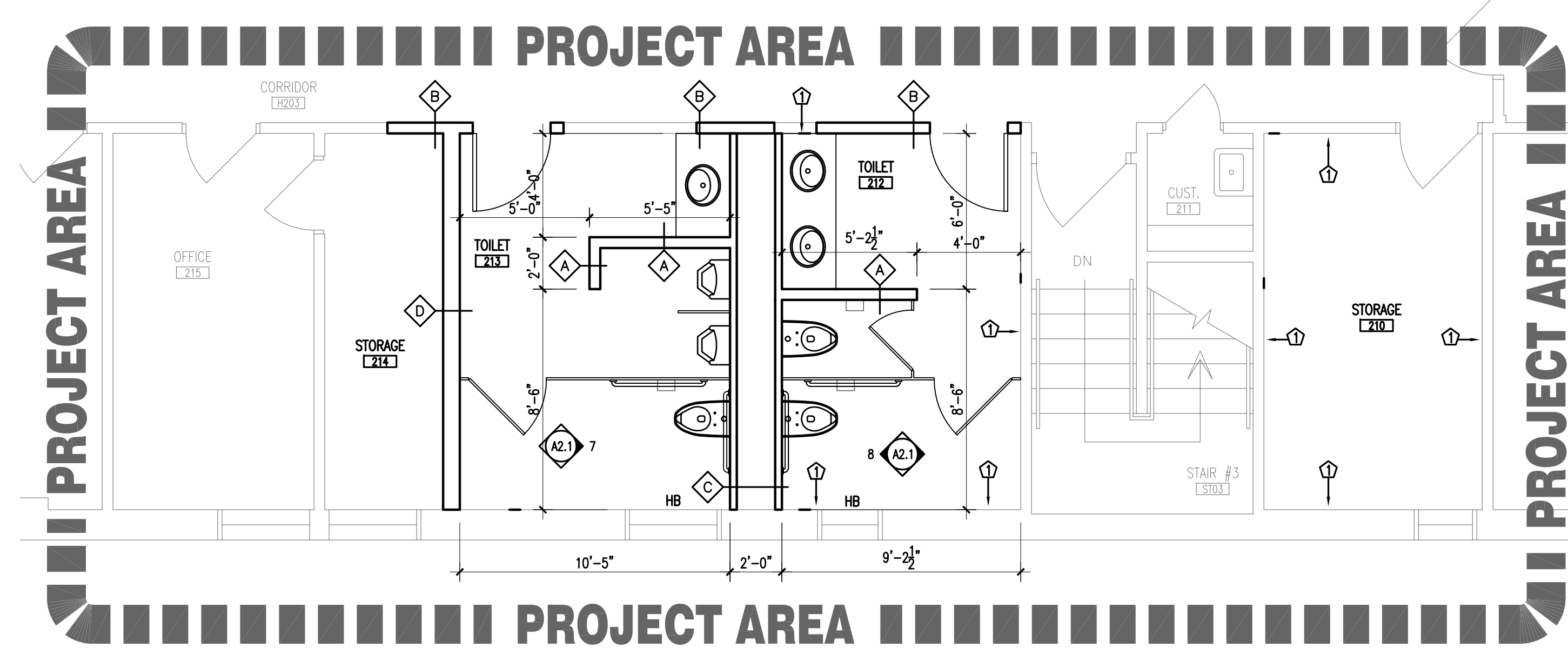
1 FIRST FLOOR DEMOLITION PLAN  
1/8"=1'-0"



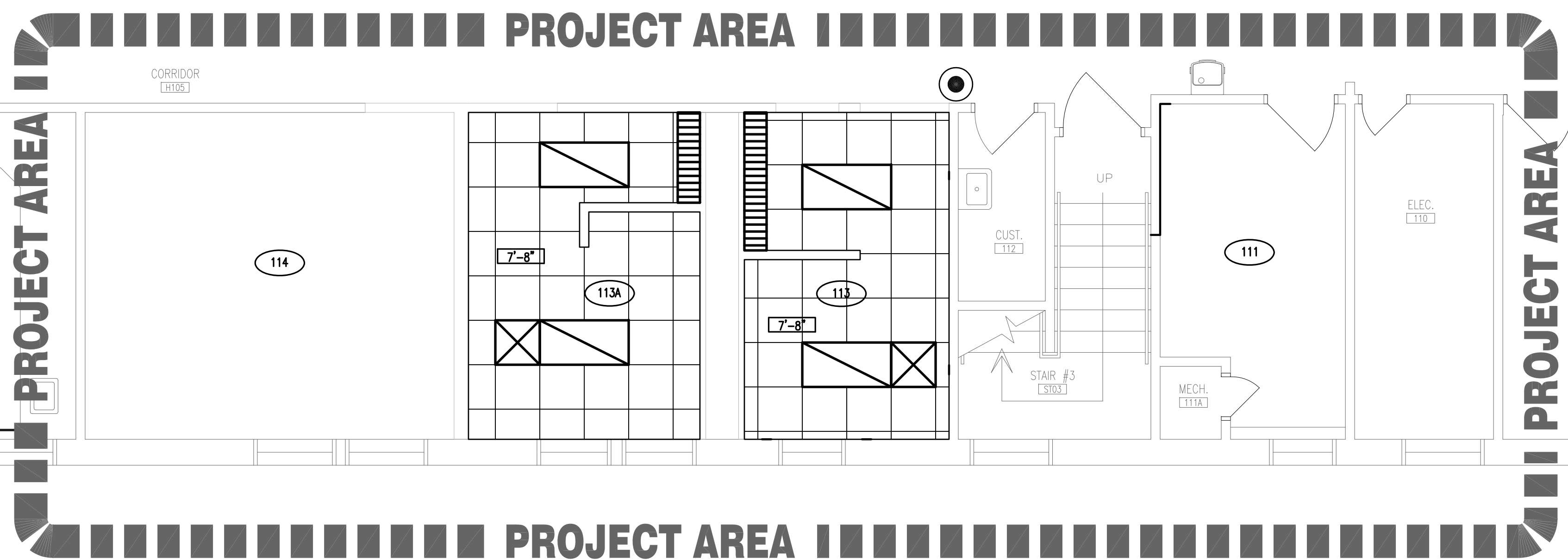
2 SECOND FLOOR DEMOLITION PLAN  
1/4"=1'-0"



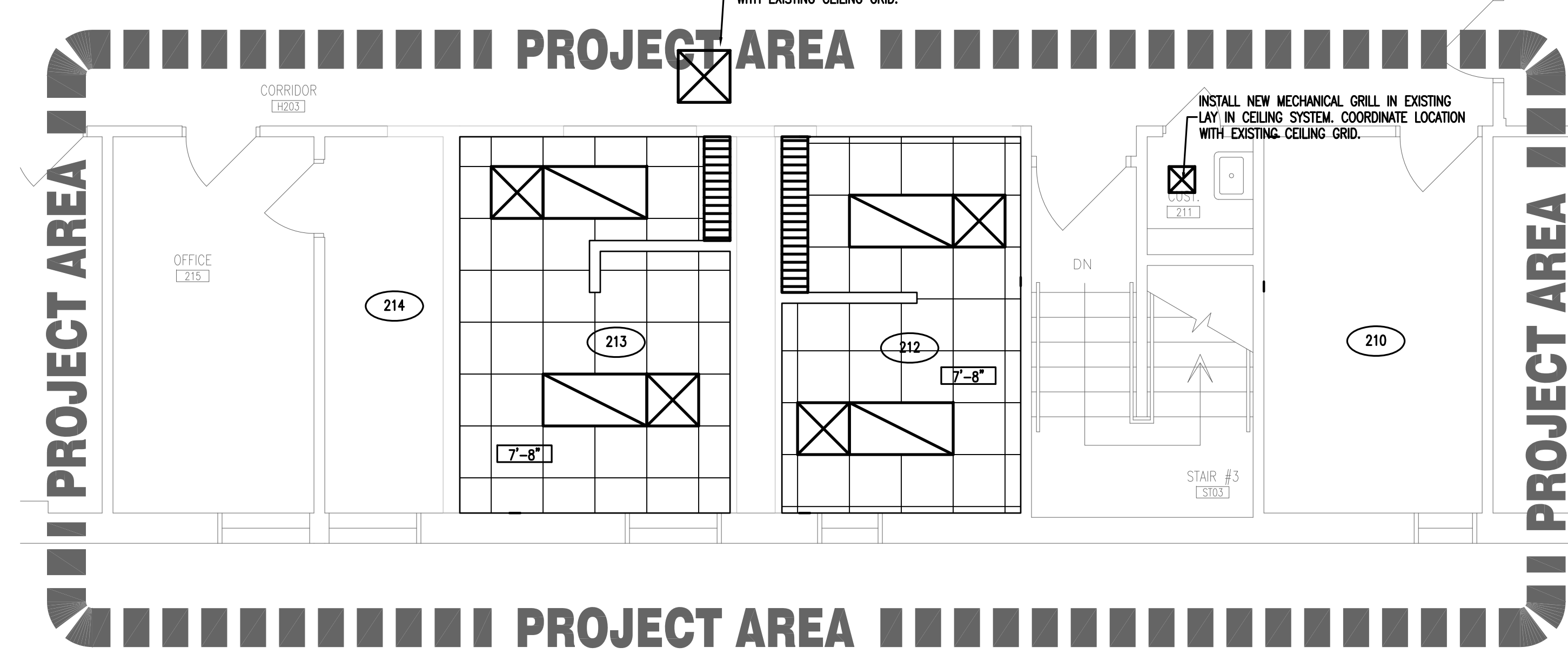
3 FIRST FLOOR RENOVATION PLAN  
1/8"=1'-0"



4 SECOND FLOOR RENOVATION PLAN  
1/4"=1'-0"



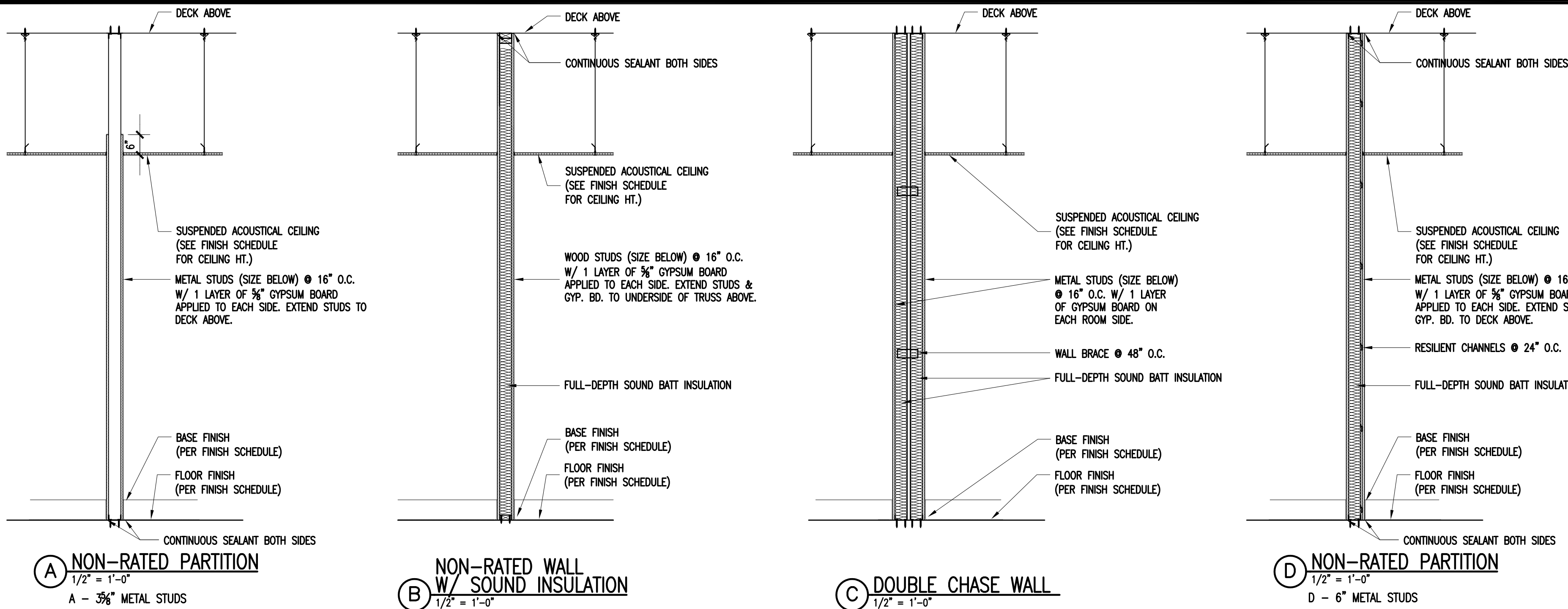
5 FIRST FLOOR REFLECTED CEILING PLAN  
1/8"=1'-0"



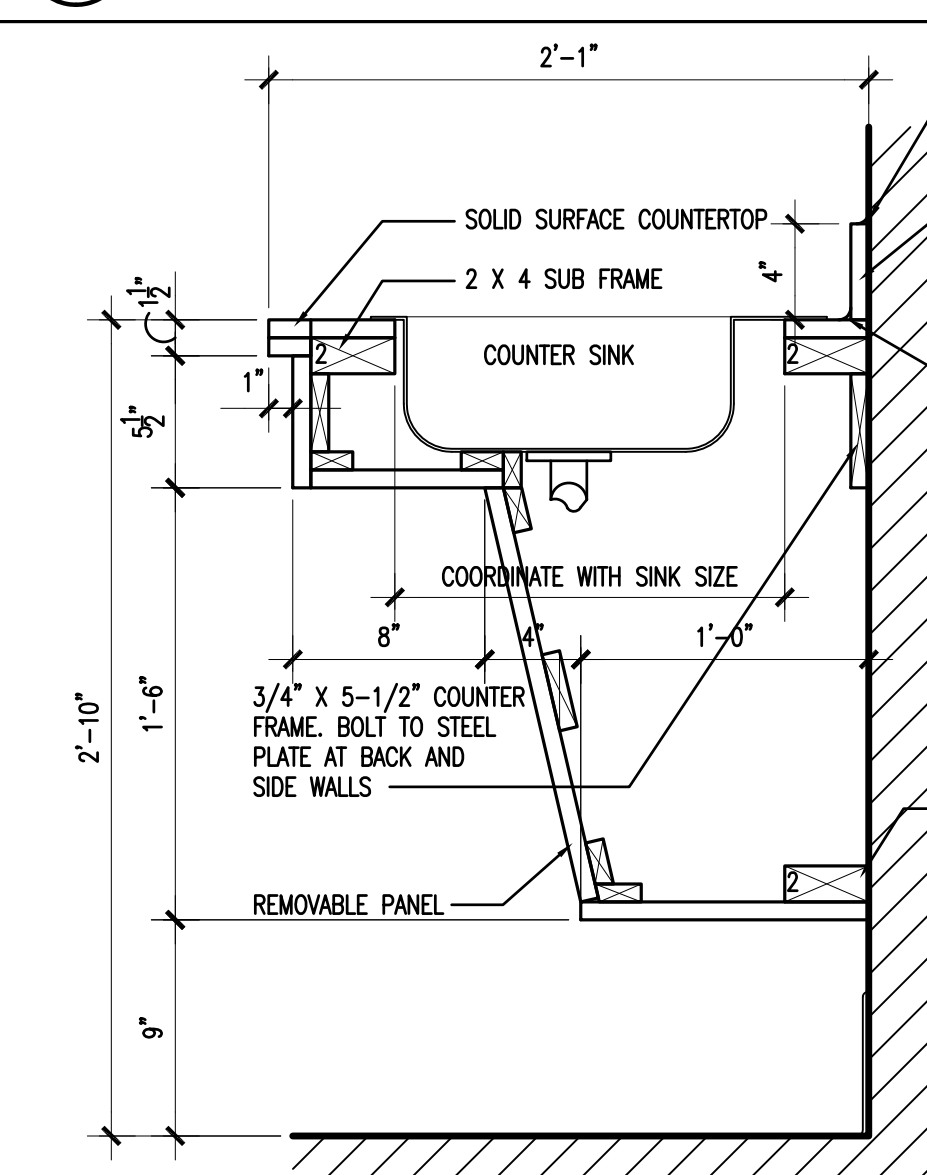
6 SECOND FLOOR REFLECTED CEILING PLAN  
1/4"=1'-0"

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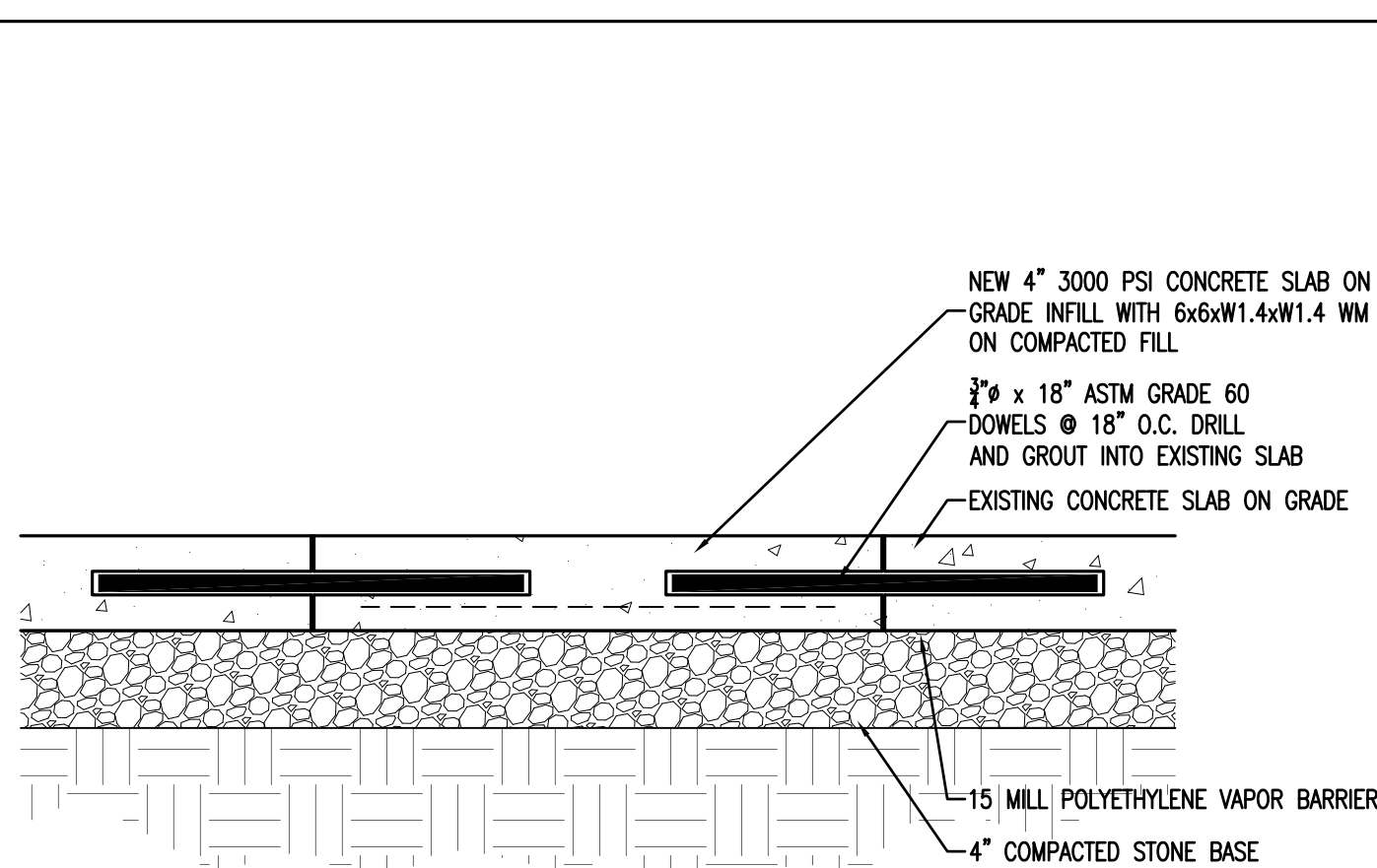




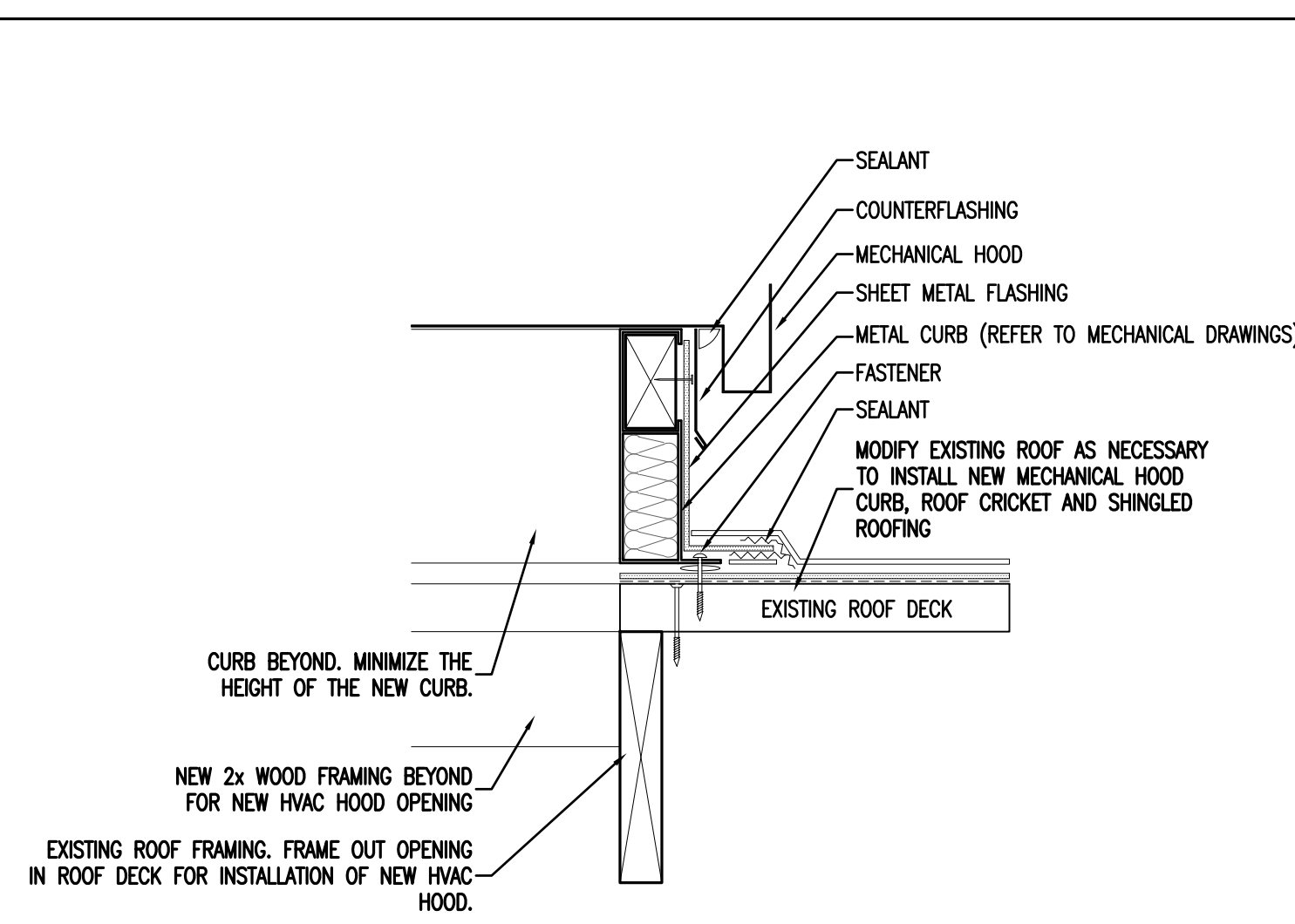
## 8 PARTITION TYPES



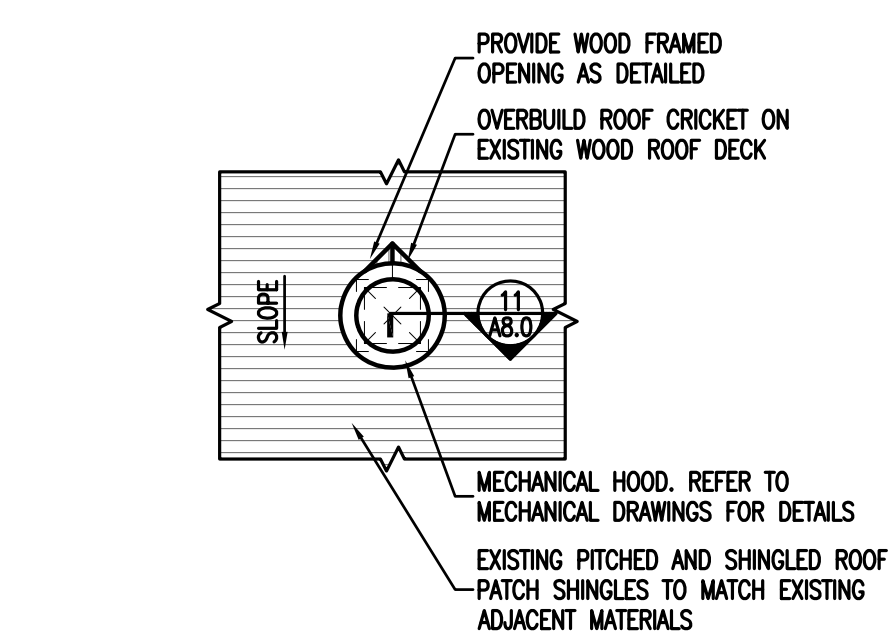
## 9 MILLWORK DETAIL



## 10 CONCRETE INFILL DETAIL



## 11 ROOF DETAIL



## 12 PARTIAL ROOF PLAN

**FINISH SCHEDULE NOTES:**

NOTE 1. SUBSTITUTE CEMENTITIOUS BACKER BOARD FOR GYPSUM BOARD ON WALLS TO RECEIVE TILED FINISH. TILE SHALL BE APPLIED FULLHEIGHT ON WET WALL. THERE SHALL BE 48" WANSOT ON REMAINING WALLS.

NOTE 2. PROTECT EXISTING FINISHES IN PLACE DURING DEMOLITION AND RENOVATION ACTIVITIES. PAINT WALLS TO MATCH EXISTING. THE ENTIRE WALL SHALL BE PAINTED.

**FINISH LEGEND:**

PNT- AS SELECTED FROM MANUFACTURERS STANDARD COLORS. 2 COLORS EACH ROOM WITH 1 ACCENT WALL PER ROOM

RB- MANUFACTURER: ROPPE  
COLOR: COLOR: AS SELECTED FROM MANUFACTURER'S STANDARD COLORS  
SIZE: 4:

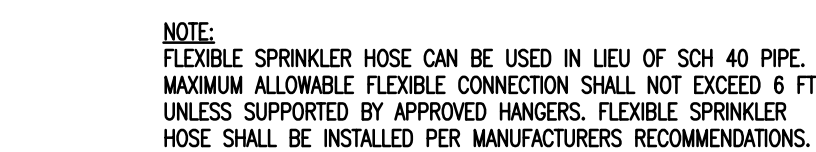
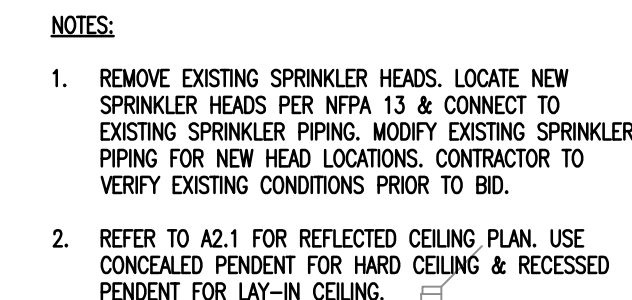
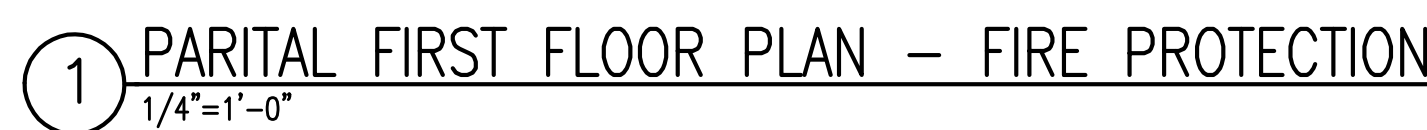
ACT- REFER TO SPECIFICATION FOR TILE SELECTION

CT- MANUFACTURER: DALTILE GALLIAN PARK  
COLOR: DESERT 6L03  
WALL SIZE: 10"x13"  
FLOOR SIZE: 15"x13"  
BULLINSE SIZE: 3"x13"  
FLOOR PATTERN: BRICK PATTERN

FINISH SCHEDULE									
ROOM NUMBER	ROOM NAME	FLOOR		BASE	WALLS		CEILING		REMARKS
		FINISH	ACCENT		FINISH	ACCENT	FINISH	ACCENT	
FIRST FLOOR									
H105	CORRIDOR	EXIST	--	RB	PNT	--	EXIST	--	NOTE 2
111	STORAGE	--	--	--	--	--	--	--	PRIME NEW DRYWALL ONLY
113	TOILET	CT	--	CT	CT	PNT	ACT	--	NOTE 1
113A	TOILET	CT	--	CT	CT	PNT	ACT	--	NOTE 1
114	SEMINAR	--	--	--	--	--	--	--	PRIME NEW DRYWALL ONLY
SECOND FLOOR									
H203	CORRIDOR	EXIST	--	RB	PNT	--	EXIST	--	NOTE 2
210	STORAGE	--	--	--	--	--	--	--	PRIME NEW DRYWALL ONLY
212	TOILET	CT	--	CT	CT	PNT	ACT	--	NOTE 1
213	TOILET	CT	--	CT	CT	PNT	ACT	--	NOTE 1
214	STORAGE	--	--	--	--	--	--	--	PRIME NEW DRYWALL ONLY



2. CONTRACT SHALL COMPLY WITH N.F.P.A. 13 & 14 & ALL APPLICABLE STATE & LOCAL CODES.
3. SYSTEMS SHALL OBTAIN APPLICABLE PERMITS & LICENSES
3. INSPECTIONS & FINAL APPROVAL, BY FIRE DEPARTMENT & ARCHITECT / ENGINEER.
4. PIPE ROUTING SHALL BE COORDINATED WITH OTHER TRADES TO MAINTAIN PROPER CLEARANCES, FIRE PROTECTION CONTROLS TO VERIFY STRUCTURAL, MECHANICAL, ELECTRICAL INSTALLATIONS & AVOID ANY / ALL OBSTRUCTIONS OR INTERFERENCES WITH FIRE PROTECTION PIPE ROUTING.
5. ABOVE CEILING HORIZONTAL FIRE PROTECTION PIPING SHALL BE RUN AS CLOSE TO CEILING CANTILEVER & LIGHTING AS POSSIBLE (U.N.O.)
6. REFER TO ARCHITECTURAL REFLECTED CEILING & ELECTRICAL LIGHTING DRAWINGS FOR CEILING DESCRIPTIONS & HEIGHTS.
7. PROVIDE FIRE RATED SLEEVES & FIRE STOP ALL PENETRATIONS OF SMOKE / FIRE WALLS, CEILINGS, ETC.
8. PROVIDE ACCESS PANELS TO ALL VALVES ABOVE NON-ACCESSIBLE CEILINGS & WALLS. COORDINATE WITH ARCHITECTURAL DRAWINGS.
9. SPRINKLER HEADS ARE TO BE COORDINATED WITH ALL DIFFUSERS, GRILLES, LIGHTING FIXTURES & CEILING SYSTEMS.
10. FIRE PROTECTION SUBCONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING, SUPPLYING & INSTALLING SPRINKLER HEADS AT PENETRATION LOCATIONS PROVIDED BY CEILING SUBCONTRACTOR.
11. SPRINKLER HEADS SHALL BE INSTALLED IN THE CENTER OF THE ACoustICAL TILE PANEL.
12. ON SHOP DRAWINGS INDICATE CENTER TO CENTER DIMENSIONS & / OR PIPE CUT LENGTHS & NOMINAL PIPE DIMENSIONS ON ALL PLANS.
13. INDICATE PIPE TYPE, SCHEDULE OF WALL THICKNESS & METHOD OF JOINING ON SHOP DRAWINGS.
14. PROVIDE THE ROOM NAMES FOR EACH AREA ON SHOP DRAWINGS.
15. PROVIDE STOCK OF EXTRA SPRINKLER HEADS IN ACCORDANCE WITH N.F.P.A. 13 3-18.73.
16. SHOP DRAWINGS SHOULD PROVIDE DETAIL & INDICATE TYPE OF HANGER TO BE INSTALLED FOR SPRINKLER PIPING.
17. MATERIAL SUBMITTALS SHALL BE SUBMITTED TO ARCHITECT / ENGINEER & SHALL BE APPROVED BEFORE ANY INSTALLATION.
18. PIPE 2" OR SMALLER SHALL BE STEEL, SCHEDULE 40, BLACK & IN ACCORDANCE WITH SPECIFICATION ASTM A100.
19. SCHEDULE 40 BLACK STEEL PIPE SHALL BE JOINED BY SOWED JOINTS IN ACCORDANCE WITH SPECIFICATION ASTM B2.1.
20. PIPE 2"-1/2" OR LARGER GROoved PIPE SHALL BE STEEL, SCHEDULE 10, BLACK.
21. AUTOMATIC SPRINKLER TEMPERATURE RATINGS TO BE IN ACCORDANCE WITH N.F.P.A. 13.
22. METHODS OF HANGING PIPES, HANGERS & BRACKETS SHALL BE APPROVED BY N.F.P.A. 13. ALL CLIPS ON 4" PIPE & LARGER SHALL BE HEAVY DUTY HANGERS, HANGERS SHALL NOT INTERFERE WITH ANY OTHER TRADE.
23. ALL VALVES FOR FIRE SERVICE SHALL BE APPROVED BY THE UNDERWRITER'S LABORATORIES INC., & THE FACTORY MUTUAL LABORATORIES. VALVES SHALL BE MARKED "UL", "T", "15", "TYP. S.I." WORKING PRESSURE.
24. NO SPRINKLER HEAD SHALL BE INSTALLED FURTHER THAN 7'-6" FROM A MANUALLY HELD OPEN SMOKE DOOR.
25. SPRINKLERS SHALL COVER THE ENTIRE AREA OF THE ROOM INCLUDING ABOVEDOORS. SPRAY SHALL NOT BE BLOCKED BY WALLS OR PARTITIONS.
26. THE FIRE PROTECTION CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT / ENGINEER OF ANY DISCREPANCIES FOUND BETWEEN THESE PLANS, THE ARCHITECTURAL PLANS / OR FIELD CONDITIONS PRIOR TO CONSTRUCTION.
27. MAKE NO CHANGES WITHOUT ARCHITECT / ENGINEER'S WRITTEN PERMISSION, IN CASE OF DISPUTE OR DOUBT AS TO INTENT OF DRAWINGS OR SPECIFICATIONS, OBTAIN ARCHITECT / ENGINEER'S DECISION BEFORE PROCEEDING WITH WORK INVOLVED. FAILURE TO FOLLOW THIS INSTRUCTION SHALL MAKE THE CONTRACTOR LIABLE FOR DAMAGE TO OTHER WORK & FOR REMOVING & REPAIRING EFFECTS OF MISLACED WORK IN PROPER MANNER.
28. BEFORE SUBMITTING PROPOSAL, OF BID, THIS TRADE SHALL EXAMINE ALL DRAWINGS & SPECIFICATIONS RELATING TO THIS PROJECT, THE AMOUNT OF SPACE AVAILABLE FOR PIPING EQUIPMENT & CONNECTING SERVICES, THE SITE OF THE WORK, THE REQUIREMENTS TO CORRELATE THE FIRE PROTECTIONS WORK WITH THAT OF OTHER TRADES, & THE TIME SCHEDULE NECESSARY TO PERFORM THE WORK.
29. THIS TRADE, AFTER EXAMINATION OF ALL PLANS & SPECIFICATIONS, SHALL INCLUDE ALL THE COSTS REQUIRED FOR A COMPLETE & FINAL INSTALLATION IN ALL ASPECTS. IT IS THE INTENT THAT ALL COSTS FOR THE WORK REQUIRED BE INCLUDED IN THE BID OF THIS TRADE.
30. THE FIRE PROTECTION CONTRACTOR SHALL PERFORM FLOW TEST AS REQUIRED PER NFPA 13 & LOCAL CODES. FLOW TEST SHALL BE PERFORMED ON ONE T & WITNESSED BY THE OWNER & ARCHITECT/ENGINEER. SUBMIT FLOW DATA WITH HYDRAULIC CALCULATIONS AS REQUIRED TO DEMONSTRATE COMPLIANCE WITH DESIGN.
31. SUBMIT HYDRAULIC CALCULATIONS PROOFING THE WEIGHT OF THE MOST HYDRAULICALLY REMOTE AREA OF THE PROJECT. INDICATE THE WEIGHT DETERMINATIONS POINT & SUBMIT CALCULATED ANALYZED NOZZLE CLOSURES IN BOTH MANUAL & OPERATIONAL. HYDRAULIC IMBALANCE SHALL NOT EXCEED 0.01 GPM AT A NOZE & WATER VELOCITY SHALL NOT EXCEED 25 FEET PER SECOND. INDICATE THE LOCATION OF THE REMOTE AREA, THE REQUIRED DENSITY, THE REQUIRED DENSITY, AREA OF COVERAGE, SCHEDULE OF HYDRAULICALLY REMOTE AREAS, & MAXIMUM COVERAGE PER SPRINKLER.
32. DRAWINGS ARE PERFORMANCE SPECIFICATION LEVEL. FIRE PROTECTION CONTRACTOR IS RESPONSIBLE FOR A FULL DESIGN INCLUDING HYDRAULIC CALCULATIONS, SPRINKLER LAYOUT, AND PIPING DESIGN. SHOP DRAWINGS AND CALCULATIONS SHALL BE DESIGNED BY A MECHANICAL/FIRE PROTECTION ENGINEER LICENSED IN NORTH CAROLINA. CONTRACTOR PROVIDED ENGINEER SHALL COMPLETELY REVIEW



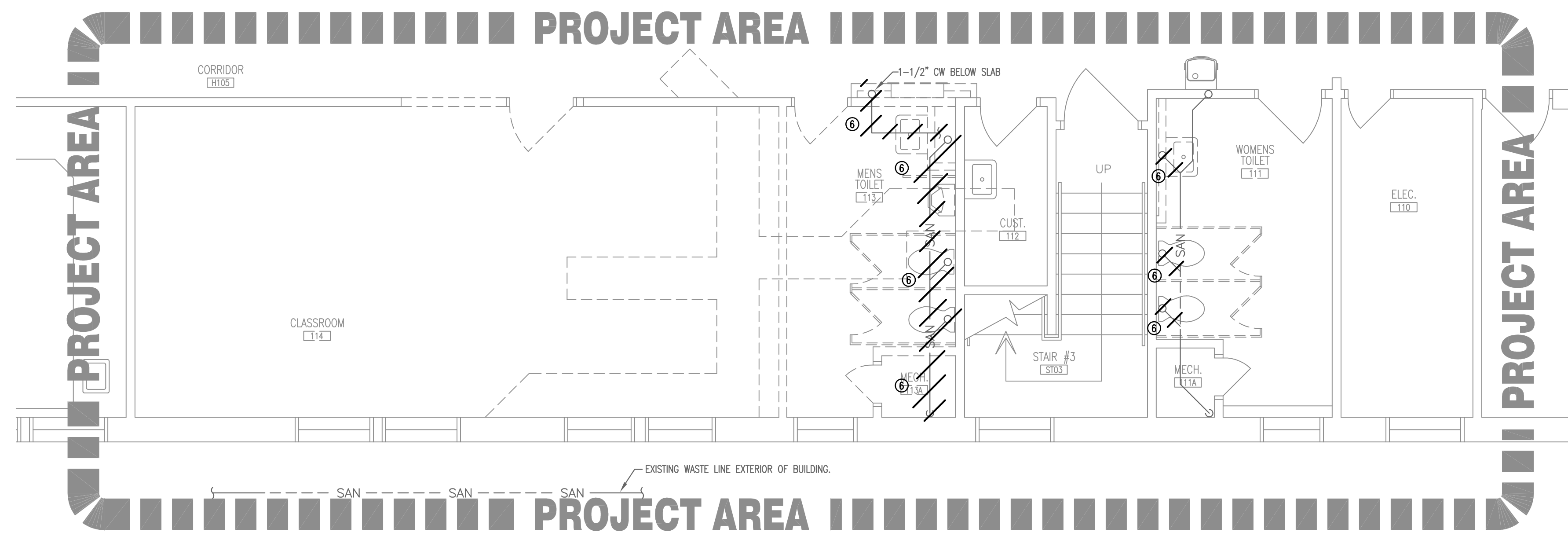
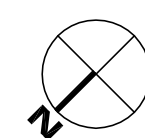
1 ARM OVER WITH  
CONCEALED SPRINKLER DETAIL  
NTS



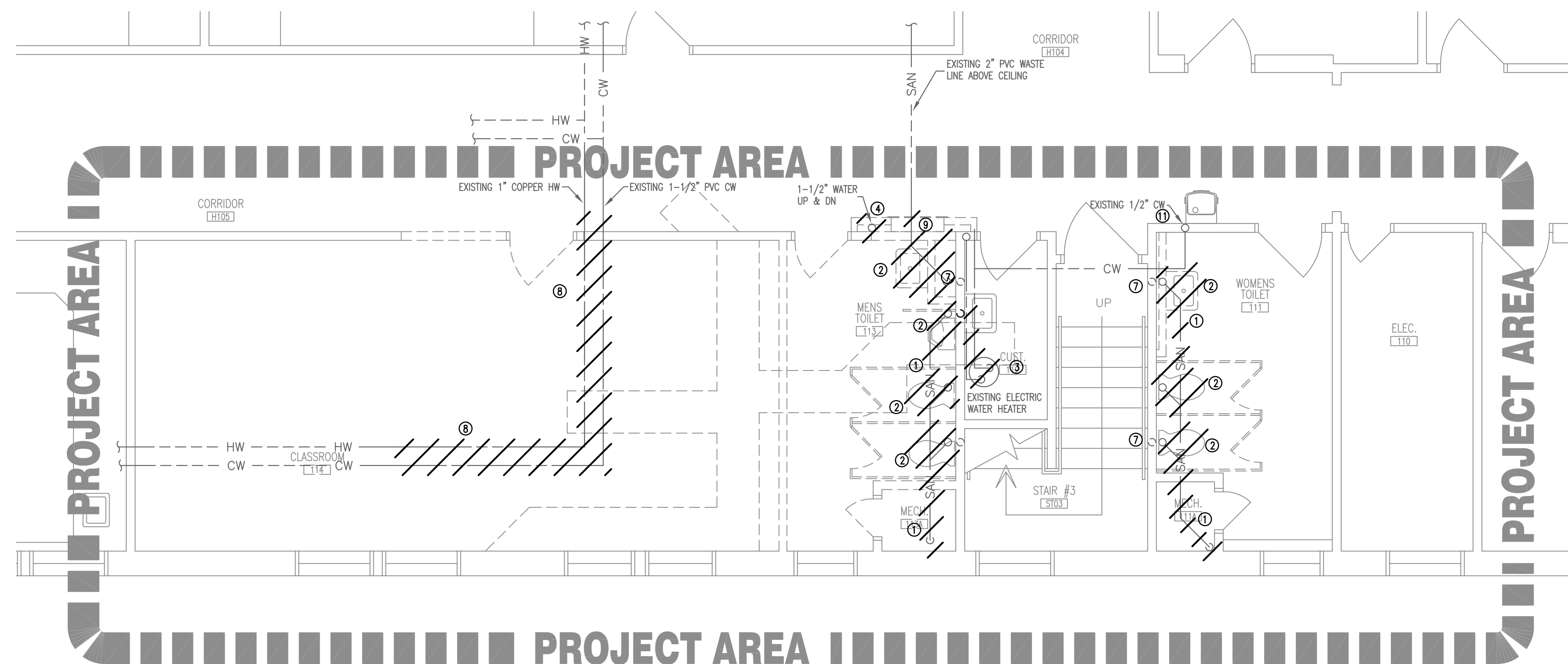




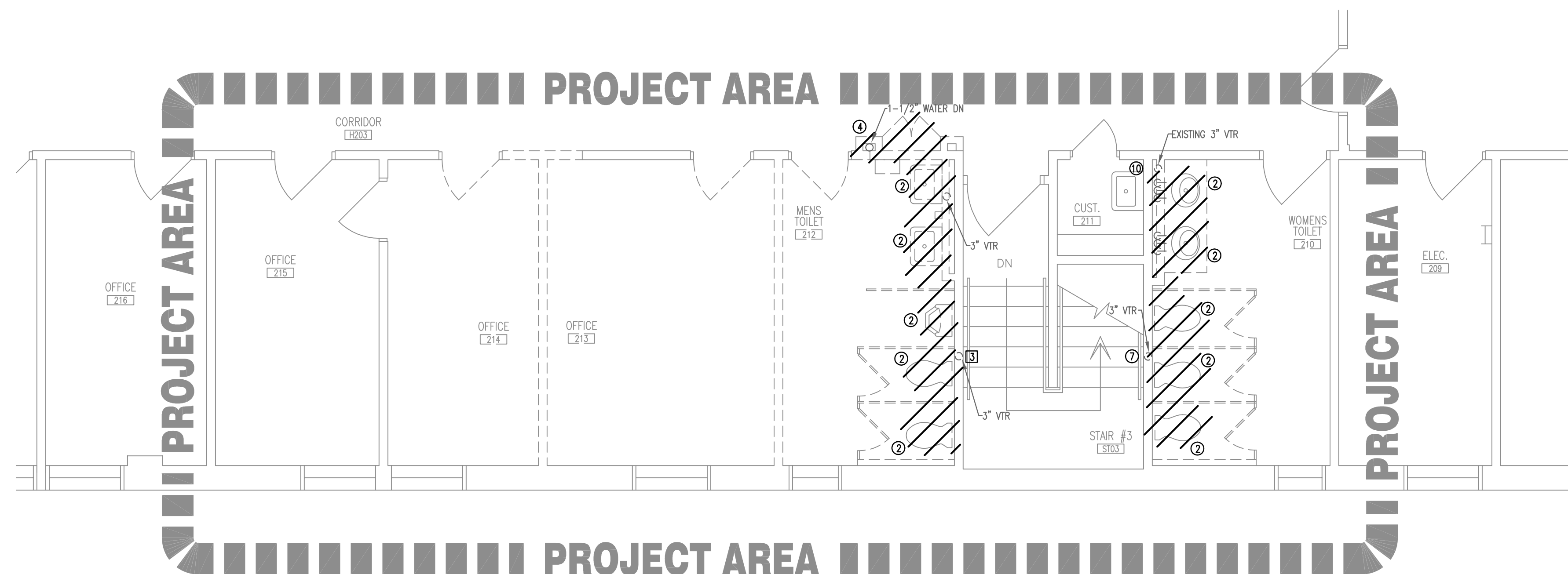
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1 PARTIAL UNDER SLAB PLAN – PLUMBING DEMOLITION  
1/4"=1'-0"



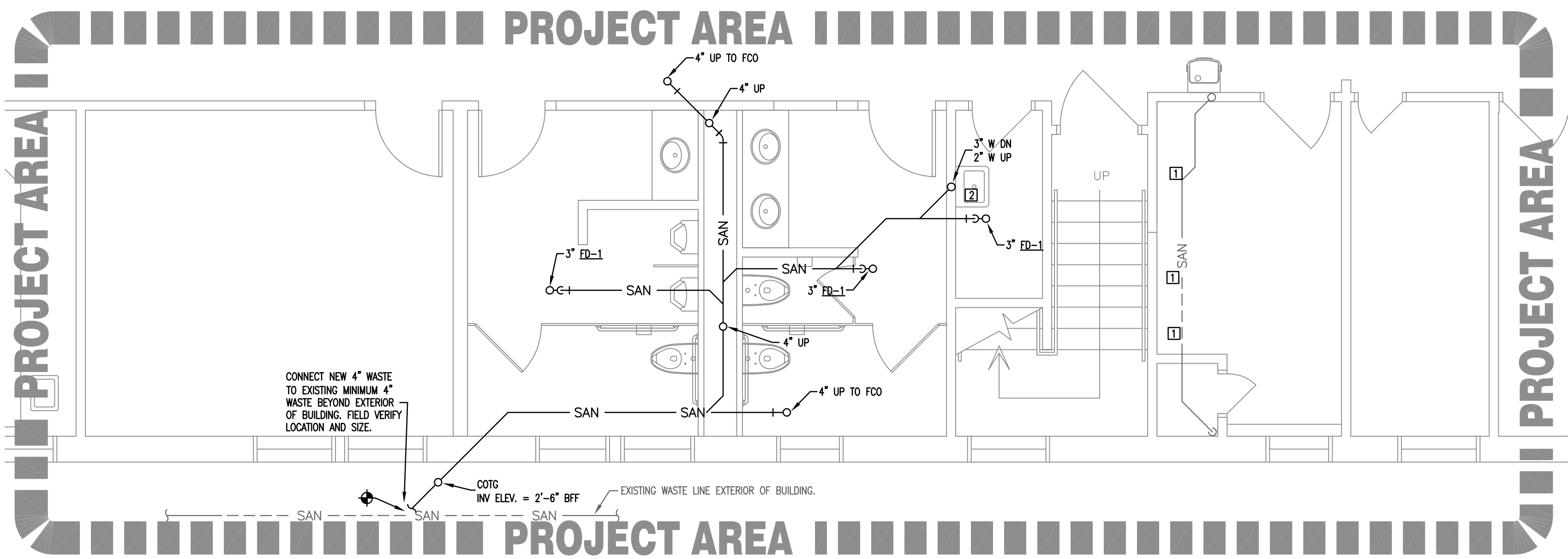
2 PARTIAL FIRST FLOOR PLAN – PLUMBING DEMOLITION  
1/4"=1'-0"



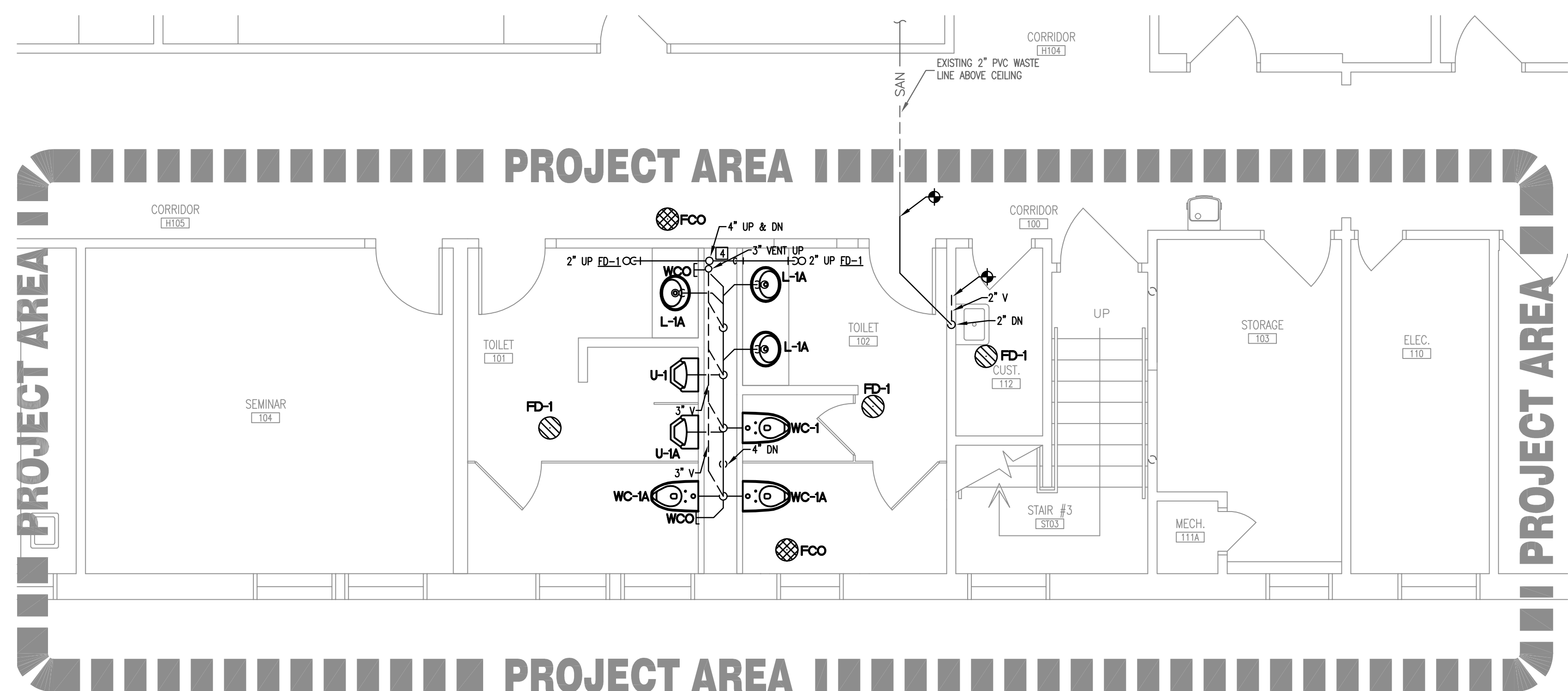
3 PARTIAL SECOND FLOOR PLAN – PLUMBING DEMOLITION  
1/4"=1'-0"

DEMOLITION NOTES:

- 1 DEMOLISH AND REMOVE EXISTING FIXTURE. DEMOLISH WASTE PIPING BELOW FLOOR SLAB TO MAIN AND CAP. DEMOLISH EXISTING SUPPLY PIPING TO MAIN AND CAP.
- 2 DEMOLISH AND REMOVE EXISTING WASTE PIPING ABOVE CEILING. DEMOLISH EXISTING 4" WASTE RISER BELOW FLOOR SLAB TO MAIN AND CAP.
- 3 DEMOLISH AND REMOVE EXISTING ELECTRIC WATER HEATER. DEMOLISH ASSOCIATED PIPING.
- 4 DEMOLISH AND REMOVE EXISTING FIRE HOSE AND CABINET. DEMOLISH EXISTING SUPPLY RISER BELOW FLOOR SLAB AND CAP.
- 5 DEMOLISH VENT PIPING AND CAP VENT RISER BELOW ROOF. VENT THROUGH ROOF TO REMAIN EXISTING.
- 6 DEMOLISH EXISTING WASTE BELOW SLAB THIS AREA AND CAP AT MAIN. DEMOLISH PIPING IN A MANNER NOT TO INTERFERE WITH EXISTING FIXTURES TO REMAIN OR PIPING OUTSIDE OF PROJECT LIMITS UNLESS NOTED.
- 7 EXISTING VENT RISER TO REMAIN.
- 8 CUT AND DEMOLISH EXISTING WATER PIPING ABOVE CEILING AS SHOWN. CAP EXISTING PIPING ABOVE CEILING IN CORRIDOR.
- 9 CUT AND DEMOLISH EXISTING 2" PVC WASTE ABOVE CEILING AS SHOWN. CAP TEMPORARY ABOVE CEILING IN CORRIDOR.
- 10 EXISTING JANITORS SINK TO REMAIN. EXISTING WASTE, VENT & SUPPLY PIPING TO REMAIN.
- 11 EXISTING ELECTRIC WATER COOLER TO REMAIN. EXISTING WASTE, VENT & SUPPLY PIPING TO REMAIN.

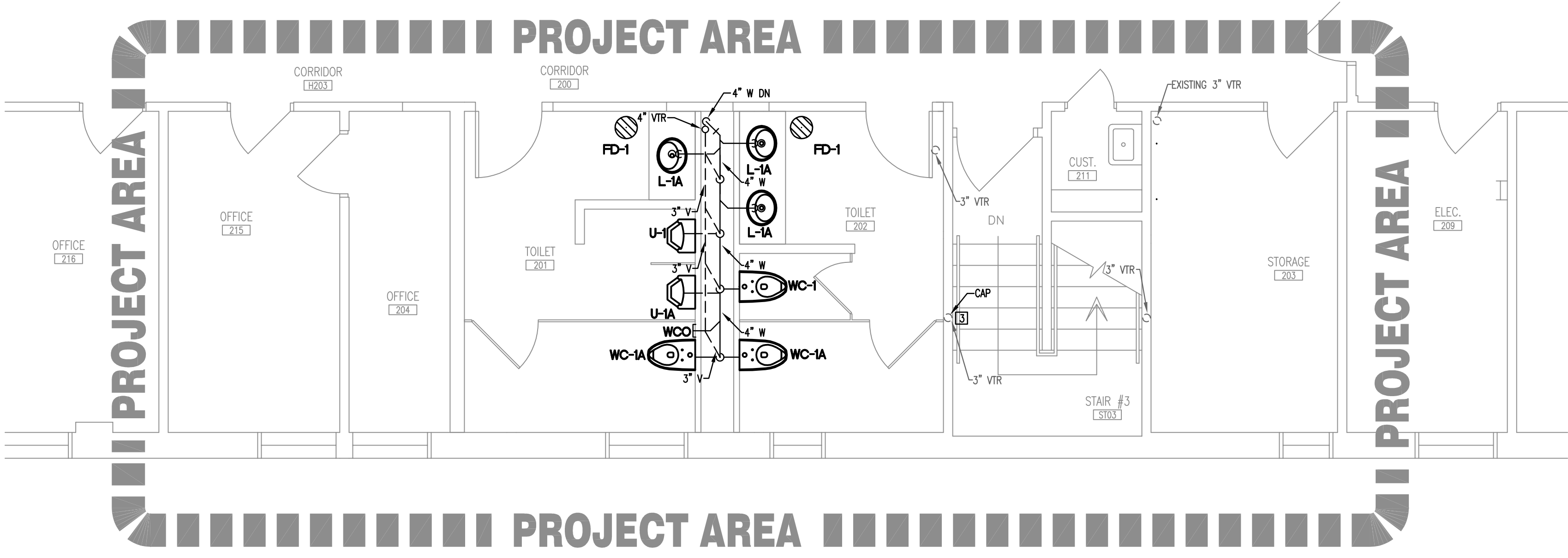


1 PARITAL UNDERSLAB PLAN – WASTE & VENT PIPING  
1/4"=1'-0"

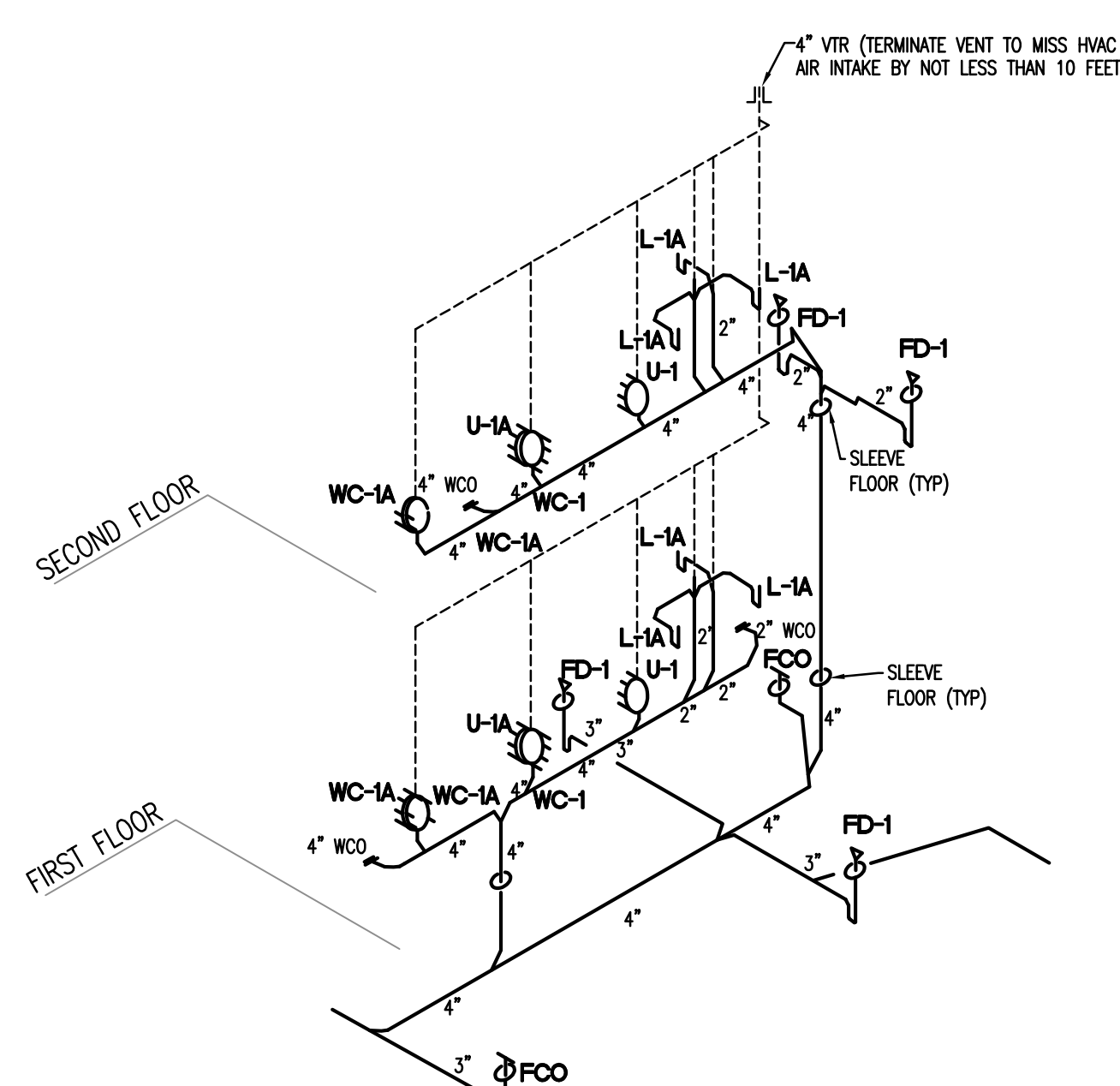


4 PARITAL FIRST FLOOR PLAN – WASTE & VENT PIPING  
1/4"=1'-0"

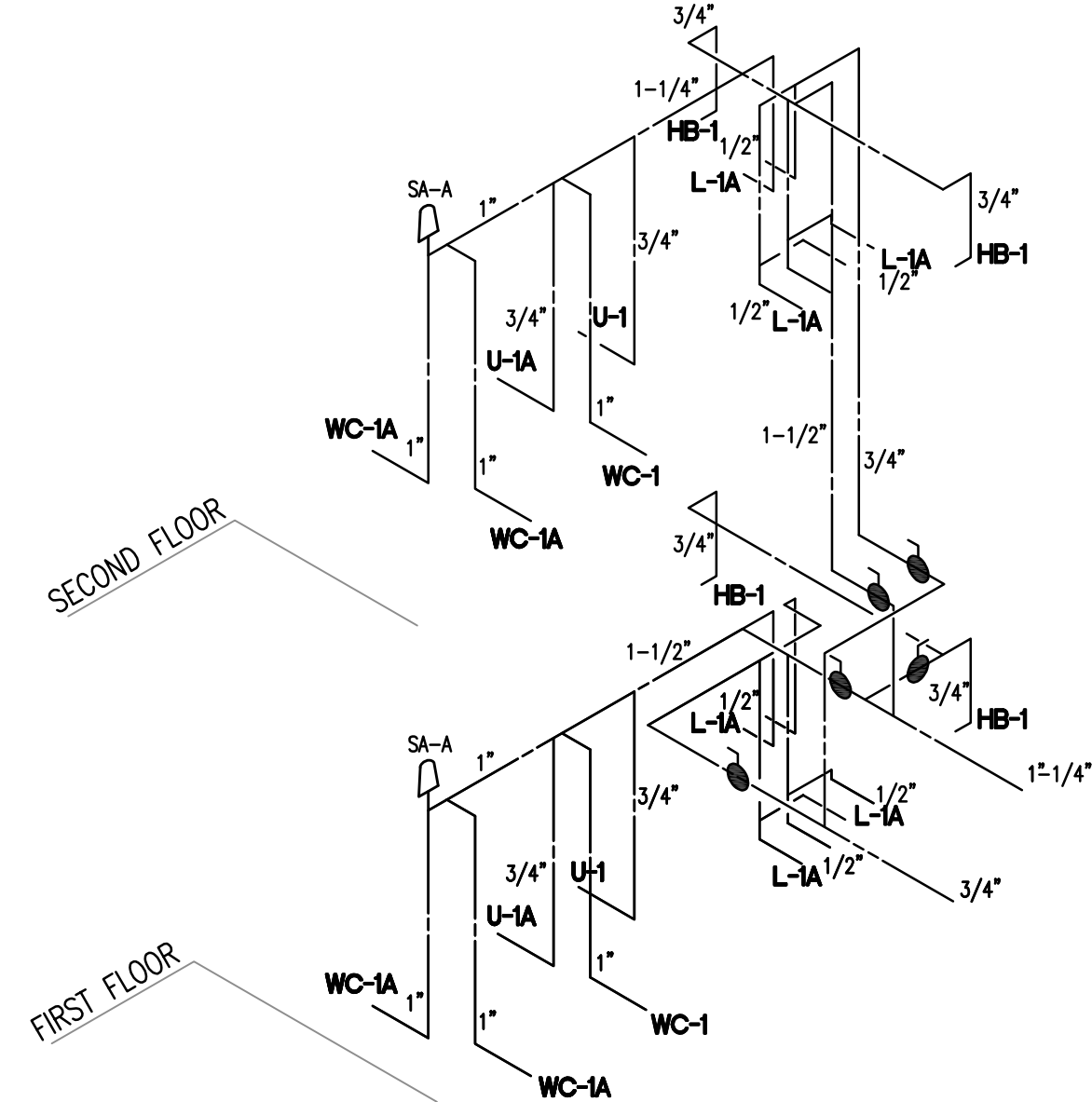
- WASTE PIPING NOTES:
- 1 CAP EXISTING WASTE PIPE BELOW SLAB.
  - 2 ROUTE NEW 3" WASTE LINE UP FOR EXISTING JANITORS SINK.
  - 3 CAP EXISTING VENT THROUGH ROOF IN THE VERTICAL BELOW ROOF.
  - 4 COORDINATE ROUTING WASTE & VENT PIPING RISERS WITH DUCTWORK AND DOMESTIC WATER PIPING IN CHASE.



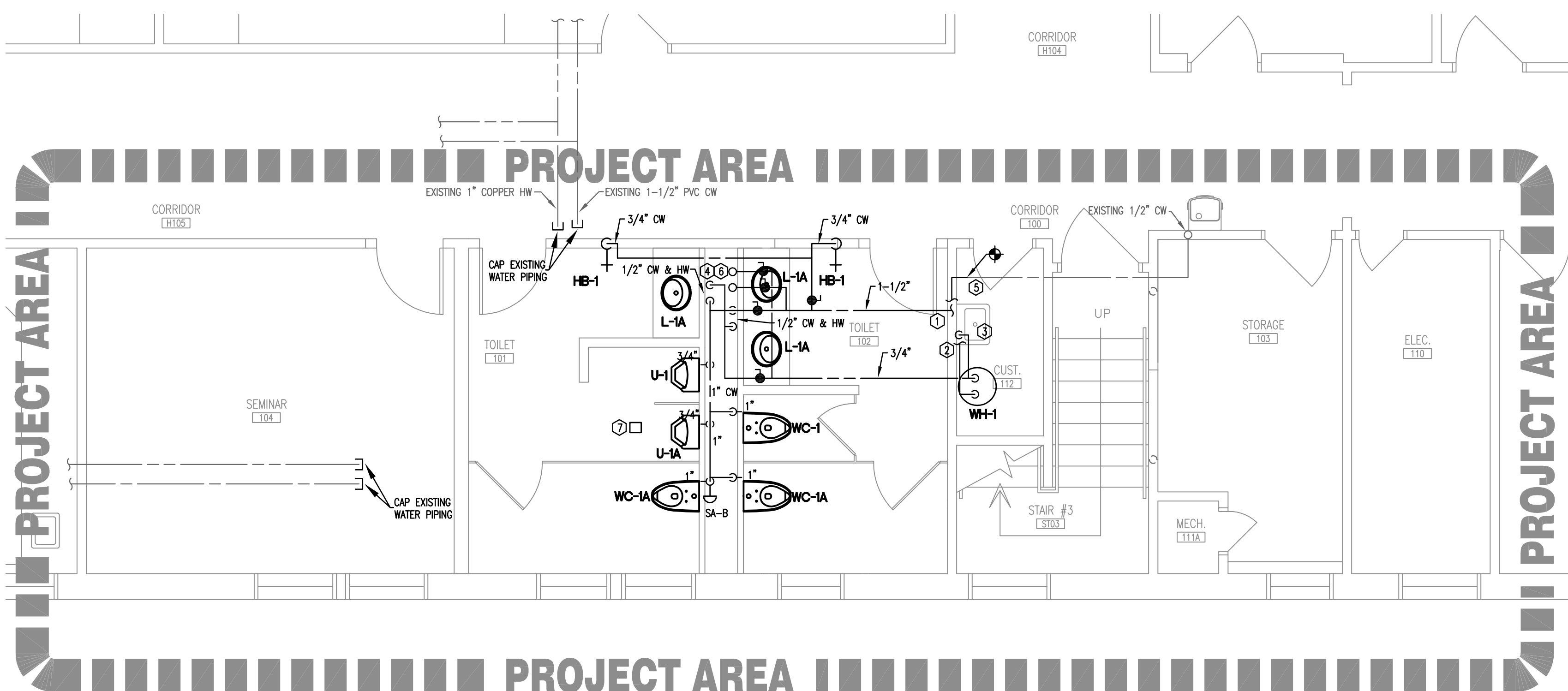
6 PARITAL SECOND FLOOR PLAN – WASTE & VENT PIPING  
1/4"=1'-0"



2 WASTE AND VENT RISER  
NTS

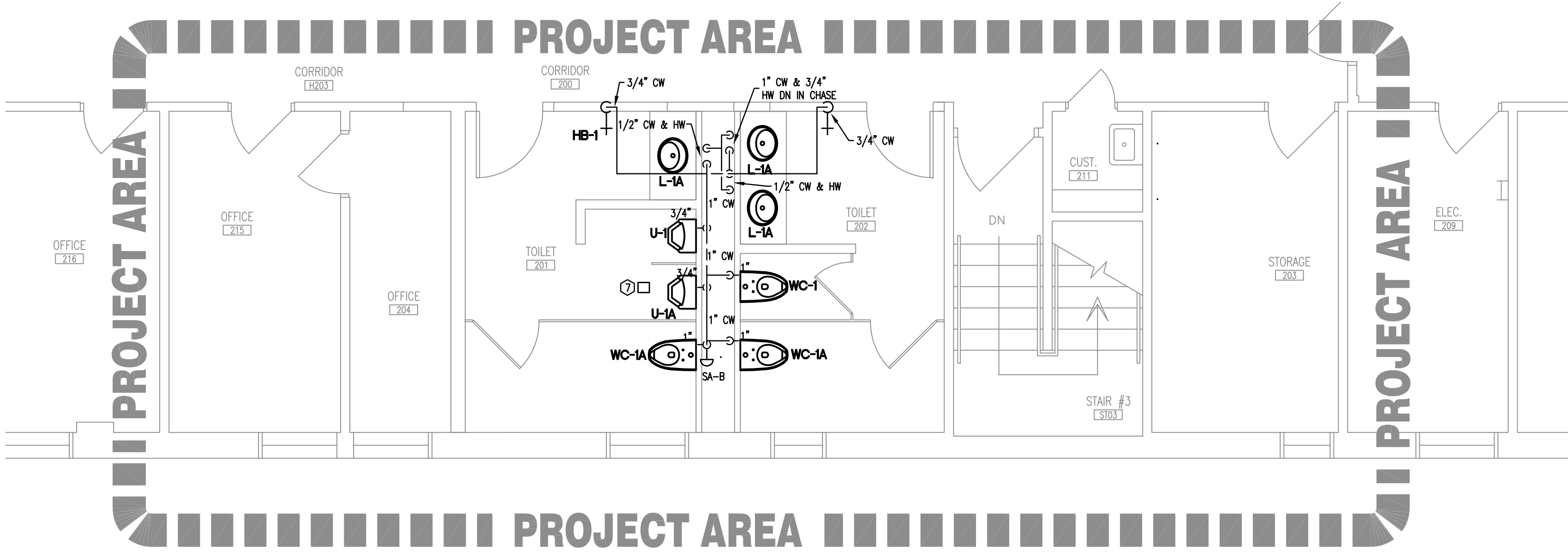


3 WATER PIPING RISER  
NTS



5 PARITAL FIRST FLOOR PLAN – WATER PIPING  
1/4"=1'-0"

- WATER PIPING NOTES:
- 1 CONNECT NEW 1-1/4" DOMESTIC WATER SUPPLY RISER TO EXISTING MINIMUM 1-1/4" SUPPLY LINE THIS AREA. FIELD VERIFY SIZE AND LOCATION. ROUTE ABOVE FIRST FLOOR CEILING FOR DISTRIBUTION. COORDINATE WITH OTHER DISCIPLINES.
  - 2 ROUTE AND CONNECT NEW 3/4" WATER HEATER SUPPLY LINE TO NEW DOMESTIC WATER PIPING ABOVE CEILING THIS AREA.
  - 3 CONNECT NEW 1/2" CW AND HW SUPPLY LINES FOR EXISTING JANITORS SINK.
  - 4 1-1/2" CW AND 3/4" HW RISE IN CHASE TO SECOND FLOOR.
  - 5 CONNECT EXISTING CW SERVING EXISTING ELECTRIC WATER COOLER TO NEW DOMESTIC WATER SUPPLY PIPING.
  - 6 COORDINATE DOMESTIC WATER SUPPLY RISERS WITH DUCTWORK AND WASTE PIPING IN CHASE.
  - 7 MULTI UNIT LOW VOLTAGE CONTROL BOX FOR ELECTRONIC FAUCETS AND FLUSH VALVES ABOVE CEILING THIS LOCATION. PC TO CONNECT LOW VOLTAGE WIRING FROM CONTROL BOX TO END POINT AT UNITS. COORDINATE CONNECTION TO 120 AC WITH ELECTRICAL CONTRACTOR.



7 PARITAL SECOND FLOOR PLAN – WATER PIPING  
1/4"=1'-0"

number	item	date





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*consultants*



USC CAMPUS PLANNING AND  
CONSTRUCTION  
743 GREENE STREET  
COLUMBIA, SOUTH CAROLINA 29208

project name  
USC SOM BUILDING 28  
BATHROOM RENOVATIONS  
STATE PROJECT #H27-1968

A/E project number  
11052.01

seal/signature

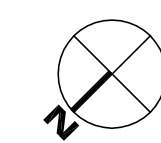
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CONSTRUCTION DOCUMENTS

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APRIL 25, 2012

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key plan

SOM BUILDING 28



sheet title  
**PARTIAL FIRST AND SECOND  
FLOOR PLANS - HVAC  
DEMOLITION & RENOVATION**

sheet number

## M2.1

*drawn by* JDR  
*checked by* JWE



- ① REMOVE EXISTING EXHAUST FAN AND ALL ASSOCIATED DUCTWORK IN THIS SPACE.
- ② REMOVE EXISTING WINDOW UNIT. OWNER SHALL HAVE RIGHT OF FIRST REFUSAL. IF OWNER WANTS EXISTING WINDOWS UNIT, CONTRACTOR SHALL REMOVE AND MOVE TO LOCATION SPECIFIED BY OWNER.
- ③ REMOVE ALL STEAM AND CONDENSATE PIPING ABOVE CEILING. ALL STEAM AND CONDENSATE PIPING IN THE AREA IS NOT IN OPERATION.
- ④ EXISTING STEAM AND CONDENSATE PIPING STILL ACTIVE AND SHALL REMAIN IN OPERATION.
- ⑤ CAP EXISTING STEAM AND CONDENSATE LINE BEHIND WALL IN PIT BELOW STAIR #2.

GENERAL NOTES

1. CONTRACTOR HAS THE OPTION TO USE EQUIVALENT ROUND DUCT IN LIEU OF RECTANGULAR AS SPECIFIED.
2. ALL MITERED ELBOWS SHALL HAVE TURNING VANES UNLESS NOTED AS A TRANSFER DUCT.
3. ALL DUCT RUN-OUTS TO DIFFUSERS SHALL BE GRILLE SIZE UNLESS NOTED OTHERWISE.
4. COORDINATE ALL CEILING AIR DISTRIBUTION LOCATIONS WITH GENERAL CONTRACTOR AND ARCHITECTURAL REFLECTED CEILING PLANS AND LIGHTING LAY-OUT.
5. CONTRACTOR SHALL PROVIDE ALL ACCESSORIES (I.E. DAMPERS, ISOLATORS, ETC.) FOR ALL SPLIT SYSTEMS INDICATED IN THE DETAIL'S DRAWINGS AND SPECIFICATIONS.

MECHANICAL KEYNOTES

- ① PROVIDE DEEP SEAL P-TRAP FULL SIZE OF UNIT CONNECTION AND SILL CONDENSATE ON GRADE.
- ② ROUTE DUCT THROUGH CURB, UNDER CONDENSING SECTION AND INTO THE BUILDING. COORDINATE CURB HEIGHT WITH DUCTWORK. SEE DETAIL FOR ADDITIONAL INFORMATION.
- ③ PROVIDE CONCRETE EQUIPMENT PAD. SEE DETAIL FOR MORE INFORMATION.
- ④ ROUTE DUCT HORIZONTAL IN PLANE. COORDINATE DUCT ROUTING WITH PLUMBING PIPING.
- ⑤ PROVIDE TEMPERATURE AND HUMIDITY SENSOR AND CONNECT TO A01-1. SENSOR SHALL COMMAND UNIT INTO COOLING OR HEATING BASED ON SET POINT. HUMIDITY SENSOR SHALL COMMAND UNIT INTO DEHUMIDIFICATION MODE BASED ON HUMIDITY SENSOR SET POINT.
- ⑥ PROVIDE DIGITAL PROGRAMMABLE TIME CLOCK TO SCHEDULE A01-1 AND E-1-1. TIME CLOCK SHALL HAVE THE ABILITY TO START/STOP A01-1 AND E-1-1 BASED ON USER INPUT OCCUPANCY SCHEDULES. TIME CLOCK SHALL HAVE THE ABILITY TO BE PROGRAMMED FOR A MINIMUM OF 168 HOURS PER WEEK. TIME CLOCK SHALL HAVE DIVISION 16 SCHEDULES. DIVISION 16 SHALL COORDINATE WITH DIVISION 16 AND PROVIDE POWER FOR THE TIME CLOCK.
- ⑦ LOCATE TOP OF SMOKEWELL GRILLE AT 7'-0" ± A.F.F.
- ⑧ LOCATE TOP OF SMOKEWELL GRILLE AT 7'-6" ± A.F.F.

DEMOLITION NOTES:

- ① REMOVE EXISTING EXHAUST FAN AND ALL ASSOCIATED DUCTWORK IN THIS SPACE.
- ② REMOVE EXISTING WINDOW UNIT. OWNER SHALL HAVE RIGHT OF FIRST REFUSAL. IF OWNER WANTS EXISTING WINDOWS UNIT, CONTRACTOR SHALL REMOVE AND MOVE TO LOCATION SPECIFIED BY OWNER.
- ③ REMOVE ALL STEAM AND CONDENSATE PIPING ABOVE CEILING. ALL STEAM AND CONDENSATE PIPING IN THE AREA IS NOT IN OPERATION.

GENERAL NOTES

1. CONTRACTOR HAS THE OPTION TO USE EQUIVALENT ROUND DUCT IN LIEU OF RECTANGULAR AS SPECIFIED.
2. ALL MITERED ELBOWS SHALL HAVE TURNING VANES UNLESS NOTED AS A TRANSFER DUCT.
3. ALL DUCT RUN-OUTS TO DIFFUSERS SHALL BE GRILLE SIZE UNLESS NOTED OTHERWISE.
4. COORDINATE ALL CEILING AIR DISTRIBUTION LOCATIONS WITH GENERAL CONTRACTOR AND ARCHITECTURAL REFLECTED CEILING PLANS AND LIGHTING LAY-OUT.
5. CONTRACTOR SHALL PROVIDE ALL ACCESSORIES (I.E. DAMPERS, ISOLATORS, ETC.) FOR ALL SPLIT SYSTEMS INDICATED IN THE DETAIL'S DRAWINGS AND SPECIFICATIONS.

MECHANICAL KEYNOTES

- ① INSTALL EXHAUST FAN (EF-1) IN ATTIC SPACE. LOCATE EXHAUST FAN SO ACCESS CAN BE MAINTAINED.
- ② INSTALL RELIEF HOOD ON ROOF AND CONNECT EXHAUST DUCT TO RELIEF HOOD.



5 SECTION THROUGH CHASE  
1/4"=1'-0"

## M7.1





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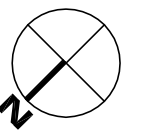
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key plan

SOM BUILDING 28



sheet title  
**PARTIAL FIRST FLOOR  
ELECTRICAL PLANS**

Sheet number

## E1.1

Drawn by HNB  
Checked by JBF



GENERAL DEMOLITION NOTES:

1. REMOVE EXISTING ELECTRICAL DEVICES AND EQUIPMENT IN PROJECT AREA AS NOTED ON DRAWING OR SPECIFICALLY NOTED OTHERWISE.
2. PROTECT IN PLACE OR REINSTALL DEVICES IN CEILINGS THAT ARE SHOWN TO BE REMOVED.
3. EXISTING DEVICES, LIGHT FIXTURES, MATERIALS AND EQUIPMENT ARE TO BE SHOWN USING STANDARD SYMBOLS ON THE DEMOLITION PLAN. DEVICES, LIGHT FIXTURES, MATERIALS AND EQUIPMENT THAT ARE TO BE REMOVED ARE EITHER REMOVED ON THE DEMOLITION PLAN OR LISTED IN THE REMOVAL SCHEDULE AT THE EXISTING LOCATION IN ADDITION TO BEING SHOWN ON THE DEMOLITION PLAN, AND/OR SPECIFICALLY NOTED TO REMAIN.
4. SOME ITEMS SHOWN TO BE REMOVED WILL BE RELOCATED AND REUSED. THOSE ITEMS ARE ALSO SHOWN DASHED ON THE RESPECTIVE LIGHTING, POWER OR OTHER PLAN AND/OR SPECIFICALLY NOTED AS RELOCATED.
5. CEILINGS IN THE PROJECT AREA MAY BE RAISED, RAISE AND REMOVE OUTDOOR TO ACCOMMODATE NEW CEILING HEIGHTS.
6. SEE THE "ELECTRICAL DEMOLITION" SPECIFICATIONS IN THE PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS AND INSTRUCTION.

DEMOLITION KEYNOTES:

- ① REMOVE AND REINSTALL EXISTING FIRE ALARM DEVICE(S) WHERE SHOWN ON RENOVATION PLAN.
- ② EXISTING WATER HEATER TO BE REPLACED WITH NEW OF SAME SIZE AND ELECTRICAL SERVICES. DISCONNECT POWER FOR DEMOLITION AND RECONNECT CIRCUIT TO NEW WATER HEATER.



**POWER & SIGNAL PLAN KEYNOTES:**

- |   |  |
|---|--|
| <p>① REUSE EXISTING FIRE ALARM DEVICES REMOVED FOR DEMOLITION AND RECONNECT TO FIRE ALARM SYSTEM. CONTACT THE ALARM MANUFACTURER AND COORDINATE WORK AND RESPONSIBILITY TO IDENTIFY NEW DEVICES LOCATIONS. MODIFY EXISTING WIRING AND CONNECT TO NEW DEVICES. FULLY TEST DEVICES FOR PROPER OPERATION. NOTIFY THE OWNER OF ANY WORKING ON FIRE ALARM SYSTEM COMPONENTS TO TEMPORARILY DISABLE SYSTEM IF NECESSARY OR FOR POSSIBLE ALARM AND TROUBLE CONDITIONS THAT ARISE FROM THE WORK.</p> <p>② NEW DEVICES. CONNECT TO EXISTING CIRCUITS MADE AVAILABLE FROM DEMOLITION.</p> <p>③ EXISTING DEVICES TO REMAIN. RECONNECT AS NECESSARY.</p> <p>④ NEW DISCONNECT TO FEED NEW MECHANICAL UNIT. SEE PARTIAL RISE DIAGRAM ON SHEET E-1.0 FOR DETAILS.</p> <p>⑤ NEW WATER HEATER TO REPLACE EXISTING. RECONNECT THE ELECTRICAL SERVICE.</p> | <p>⑥ PROVIDE JUNCTION BOX AND 120-VOLT CIRCUIT FOR POWER TO FLUSH VALVE LOW VOLTAGE TRANSFORMER AT A LOCATION DESIGNATED BY THE PLUMBING CONTRACTOR. PROVIDE HARD-WIRED OR RECEPTACLE CONNECTION AS APPROPRIATE. LOW VOLTAGE CABLES TO FLUSH VALVES SHALL BE INSTALLED BY THE PLUMBING CONTRACTOR. TYPICAL FOR BOTH TOILETS.</p> |
|---|--|



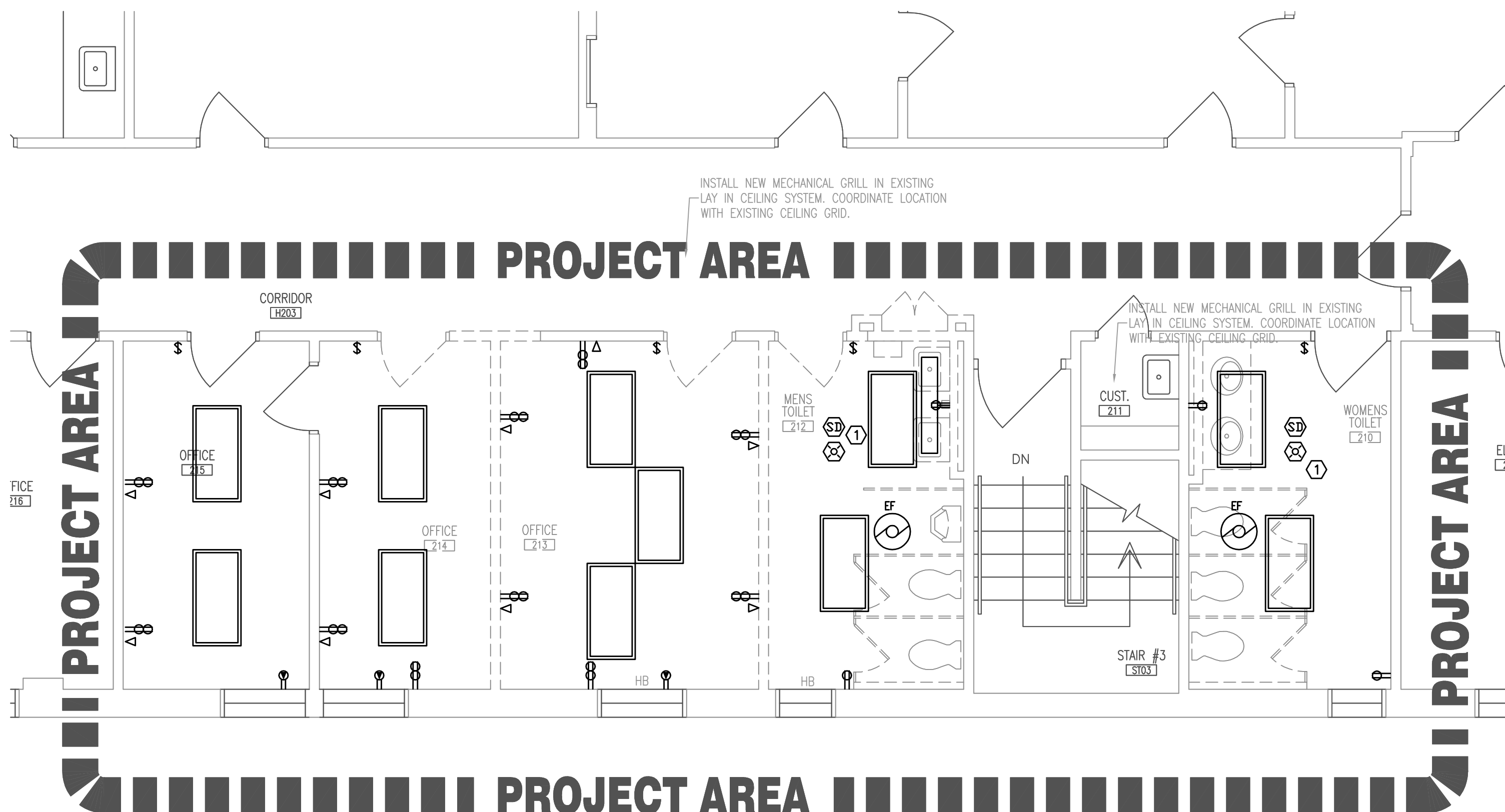
GENERAL LIGHTING PLAN NOTES:

1. REUSE EXISTING LIGHTING CIRCUITS AND MODIFY THE CIRCUITRY TO CONNECT TO NEWLY INSTALLED LIGHT FIXTURES AND SWITCHES.

DEMOLITION KEYNOTES:

- ① INSTALL A NEW BOX AND STUB A 1/2" CONDUIT ABOVE CEILING FOR FUTURE LIGHT SWITCH..
- ② THE CEILING IN THESE AREAS WILL BE RAISED FROM THE EXISTING CEILING HEIGHT. RAISE ANY CONDUITS THAT CONFLICT WITH THE NEW CEILING.





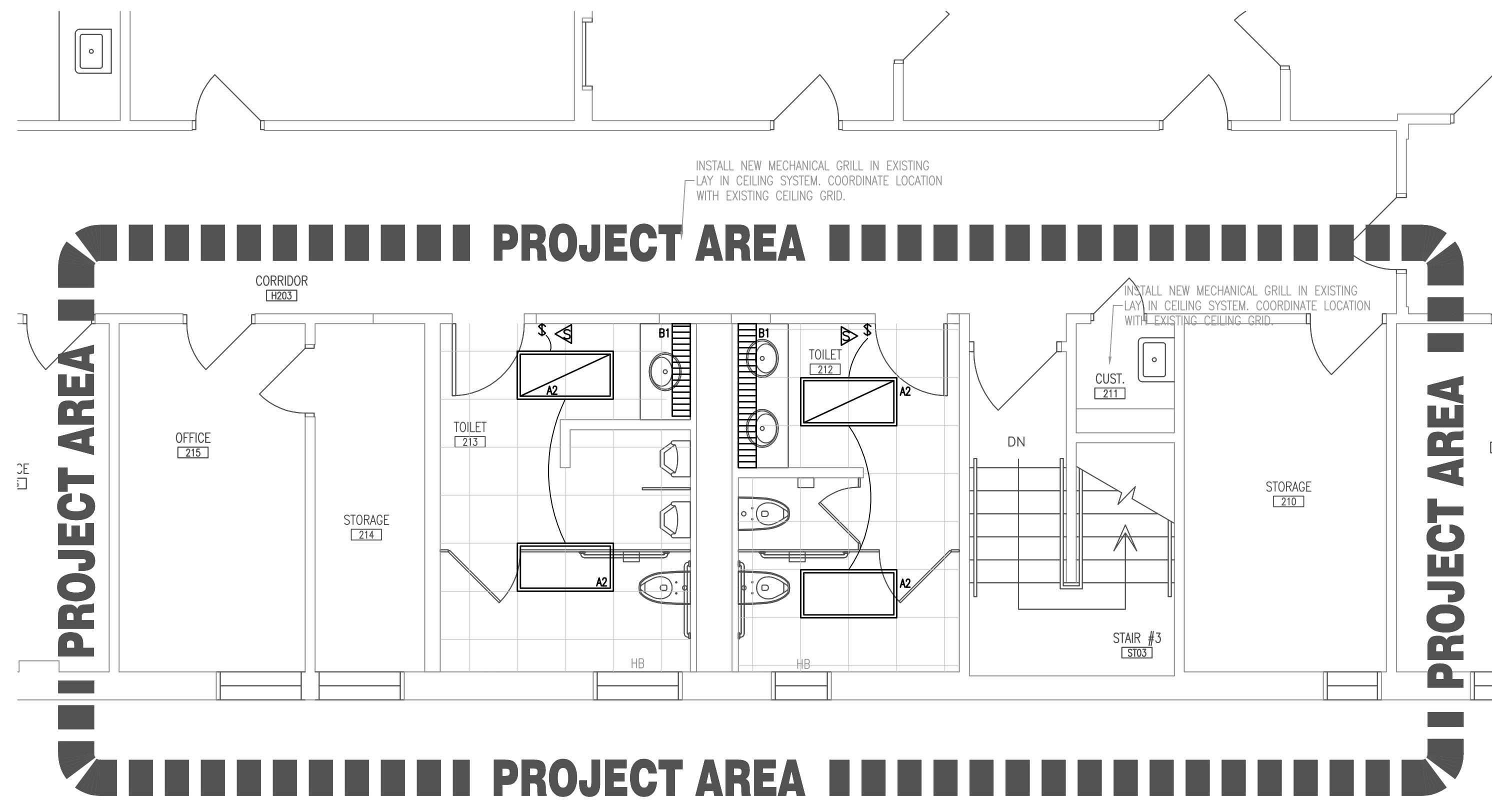
1 PARTIAL SECOND FLOOR  
ELECTRICAL DEMOLITION PLAN  
1/4" = 1'-0"

GENERAL DEMOLITION NOTES:

1. REMOVE EXISTING ELECTRICAL DEVICES AND EQUIPMENT IN PROJECT AREA EXCEPT AS NOTED BELOW OR SPECIFICALLY NOTED OTHERWISE.
2. PROTECT IN PLACE OR REINSTALL DEVICES IN CEILINGS THAT ARE SHOWN TO BE REMOVED.
3. SHOWN USING STANDARD SYMBOLS ON THE DEMOLITION PLAN. DEVICES, LIGHT FIXTURES, MATERIALS AND EQUIPMENT THAT ARE TO REMAIN ARE EITHER SHOWN DASHED ON THE RESPECTIVE LIGHTING, POWER OR OTHER PLAN AT THE EXISTING LOCATION IN ADDITION TO BEING SHOWN ON THE DEMOLITION PLAN AND/OR SPECIFICALLY NOTED TO REMAIN.
4. SOME ITEMS SHOWN TO BE REMOVED WILL BE RELOCATED AND REUSED. THOSE ITEMS ARE ALSO SHOWN DASHED ON THE RESPECTIVE LIGHTING, POWER OR OTHER PLAN AND/OR SPECIFICALLY NOTED AS RELOCATED.
5. SEE THE "ELECTRICAL DEMOLITION" SPECIFICATIONS IN THE PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS AND INSTRUCTIONS.

DEMOLITION KEYNOTES:

1. REUSE EXISTING FIRE ALARM DEVICES(S) REMOVED FOR DEMOLITION.



2 PARTIAL SECOND FLOOR  
LIGHTING PLAN  
1/4" = 1'-0"

GENERAL LIGHTING PLAN NOTES:

1. REUSE EXISTING LIGHTING CIRCUITS AND MODIFY THE CIRCUITRY TO CONNECT TO NEWLY INSTALLED LIGHT FIXTURES AND SWITCHES.

DEMOLITION KEYNOTES:

1. REPLACE EXISTING SWITCH AND WIRE TO NEW LIGHT FIXTURES.

